

Property Owner #	APN	Owner/Contact Information	Zoning	Acres/APN
1	0452-071-20	Benito O Michel, and Manuela G Michel 16021 Promontory Pl., La Mirada, CA 90638-3475	LV/AG	40.2
2	0452-071-11	Benito O Michel, and Manuela G Michel 16021 Promontory Pl., La Mirada, CA 90638-3475	LV/AG	154.9
3	0452-062-21	Magdalena Martinez, Trustee of the 2013 Martinez Family Trust 8234 Escondido Avenue, Oak Hills, CA 92344	LV/AG	40.2
4	0452-062-22	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	76.4
5	0452-062-23	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	80.4
6	0452-062-24	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	84.4
7	0452-112-20	Lua Family Trust: Michael T. Lua and Donna S. Lua, Trustees of the Lua Family Trust 18838 Aldridge Pl., Rowland Heights, CA 91748	LV/AG	70.2
8	0452-112-24	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	89.9
9	0452-121-12	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	80.9
10	0452-121-42	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	70.8
11	0452-121-38	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	5
12	0452-121-39	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	12.6
13	0452-121-48	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	33.3
14	0452-121-52	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	10.2
15	0452-391-08	Anna Adelson 16349 Meadowridge Road Encino, CA 91436-3606 Doreen Inzalaco 1352 Ethel Street Glendale, CA 91207 Christine Towers 34312 N. Haverton Drive Gurnee, IL 60031	LV/AG	80
16	0452-391-09	Anna Adelson 16349 Meadowridge Road Encino, CA 91436-3606 Doreen Inzalaco 1352 Ethel Street Glendale, CA 91207 Christine Towers 34312 N. Haverton Drive Gurnee, IL 60031	LV/AG	39.9
17	0452-361-46	105 Chandelle Drive, Tullahoma, TN 37388	LV/RL-5	80.7
18	0452-361-47	Xian Ping Zhang 15542 Starview Street, Lake Elsinore, CA 92530	LV/RL-5	80.7
19	0452-371-01	The Ostrow Company c/o Adam Matye 8660 Burton Way #B, Los Angeles, CA 90048	LV/RL-5	161.3
20	0452-112-19	Feliciano and Emerenciana G. Dalugdugan 621 Augustina Place, Chula Vista, CA 92010	LV/AG	73.5
21	0452-112-18	Mopal Corporation and Jacque P Montero 41841 Garstin Drive, Big Bear Lake, CA 92315	LV/AG	64.7
22	0452-112-17	Mopal Corporation and Jacque P Montero 41841 Garstin Drive, Big Bear Lake, CA 92315	LV/AG	8.8
23	0452-113-17	Jaime T. Garcia 16632 Chicago Ave., Bellflower, CA 90706	LV/AG	151.4
24	0452-071-25	Jacob J. & Eleanor I. Fix Co-Trustees, Fix FT 3115 W. Teranimar Drive, Anaheim, CA 92804-3828 Alfred Fix Trustee, Alfred Fix FT 6032 Larchwood Drive Huntington Beach, CA 92647-2303 Margaret A. Cantrell Trustee, Margaret A. Cantrell FT 14262 Uxbridge Street, Westminster, CA 92683-4138 Christopher L. Cantrell Trustee, Christopher L. Cantrell FT 350 Las Rientas Drive, Fullerton, CA 92835	LV/AG	40.2
25	0452-071-10	15551 Ashley Ave. , Westminster, CA 92683 Hai Van Nguyen 633 Eagle View Circle, Tallahassee, FL 32311 Yen Hong Nguyen 14542 Golders Green Ln., Westminster, CA 93683 Vivian Ngo 8412 Rembrandt Drive, Huntington Beach, CA 92647	LV/AG	80.4
26	0452-112-25	Chun Soo Ahn & Wha Ja Ahn PO Box 45, Apple Valley, CA 92307 Katherine Ahn Wallace, DDS 11121 Los Alamitos Blvd., Ste. 203, Los Alamitos, CA 90720 David Ahn & Anne Kim 3915 La Cresta Way, Bonita, CA 91902	LV/AG	103.4
27	0452-071-19	Nicole H.M. Jussek Sutton 25 Mount Pleasant Square Ranelagh Dublin 6 D06 FC94	LV/AG	40.2

APPLICATION TYPE:
CONDITIONAL USE PERMIT
FOR SOLAR ENERGY
GENERATION FACILITY

LOCATION AND ZONING:
SUPERVISORY DISTRICT:
DISTRICT 3
ZONING: LV/RL-5
COMMUNITY: LUCERENE
VALLEY
SCHOOL DISTRICT:
LUCERENE VALLEY
UNIFIED SCHOOL DISTRICT
ZIP CODE: 92356

PROJECT DATA:

1.

MAX. TBD MWAC SOLAR PHOTOVOLTAIC ENERGY GENERATION.
2.

MAX. TBD MWAC ENERGY STORAGE
3.

LF OF FENCE: TBD
4.

NUMBER OF INVERTERS: TBD
5.

NUMBER OF TRACKERS: TBD
6.

NUMBER OF SOLAR PANELS: TBD
7.

NUMBER OF DRIVE MOTORS: TBD

* PRECISE NUMBER OF INVERTERS, TRACKERS, SOLAR MODULES, AND OTHER PLAN FEATURES WILL VARY BASED ON THE SELECTED PRODUCT MANUFACTURERS. SUCH CHANGES WOULD NOT RESULT IN ANY NOTICEABLE PHYSICAL OR OPERATIONAL IMPACT TO THE FACILITY.

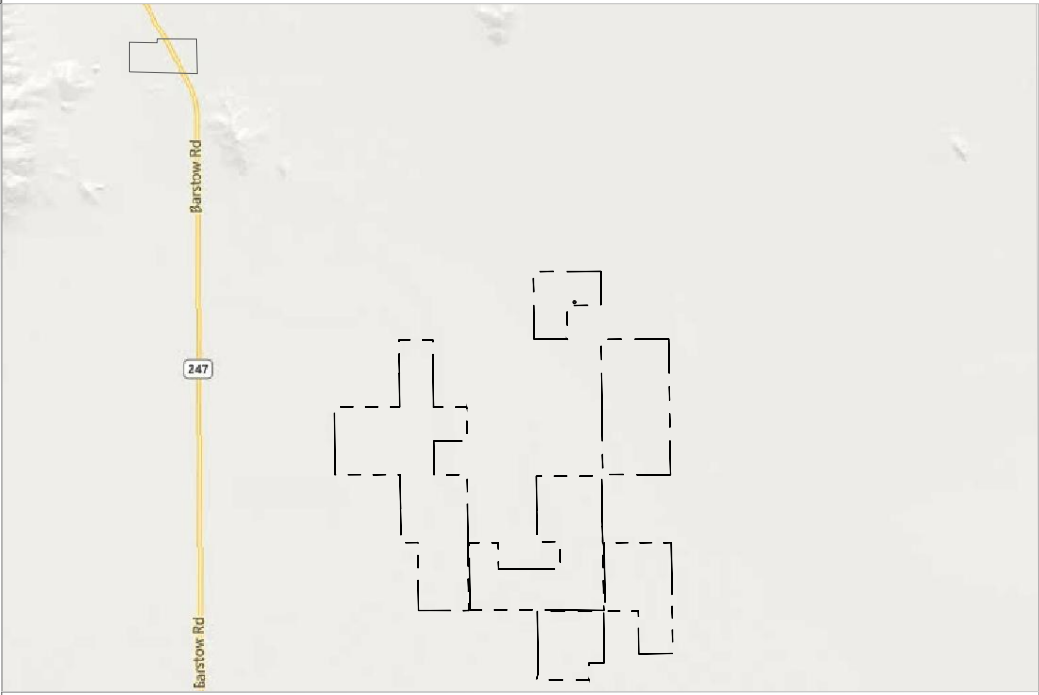


SURVEYING LOCATION:
TOWNSHIP-RANGE: T0NR01E

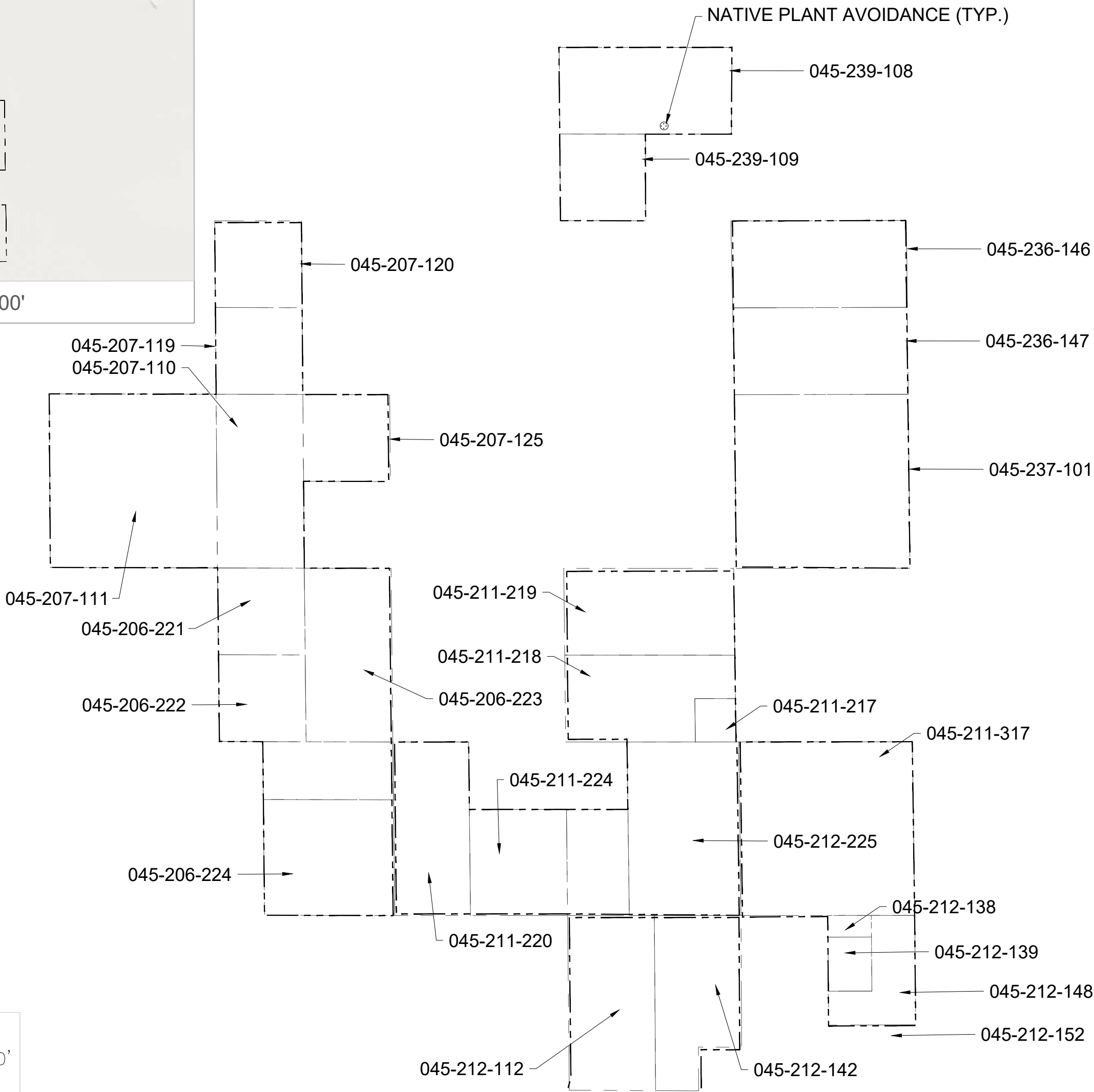
PROJECT CONTACT:
ORGANIZATION:
99MT 8ME, LLC
655 WEST BROADWAY,
SUITE 1550,
SAN DIEGO, CA 92101

ORGANIZATION REPRESENTATIVE:
JENNIFER JACKSON
EMAIL: JJACKSON@AVANTUS.COM
PHONE: 303-558-3855

CLOSE-UP SCE CALCITE SUBSTATION 1" : 1500'



VIEWPORT 1" : 7500'



OFFICIAL USE ONLY:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

OFFICIAL USE ONLY:

LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE
	CALIFORNIA DESERT NATIVE PLANT SPECIES

SIENNA SOLAR AND STORAGE PROJECT

LUCERNE VALLEY, CA

REFERENCE ADDRESS: 33850 GRANITE RD,
LUCERNE VALLEY CA 92356 UNITED STATES

PRELIM. CONDITIONAL USE PERMIT (CUP) SITE PLAN

DATE: October 8, 2025

SHEET: C101

REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

NOTES:

1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	15FT INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

SIENNA SOLAR PROJECT

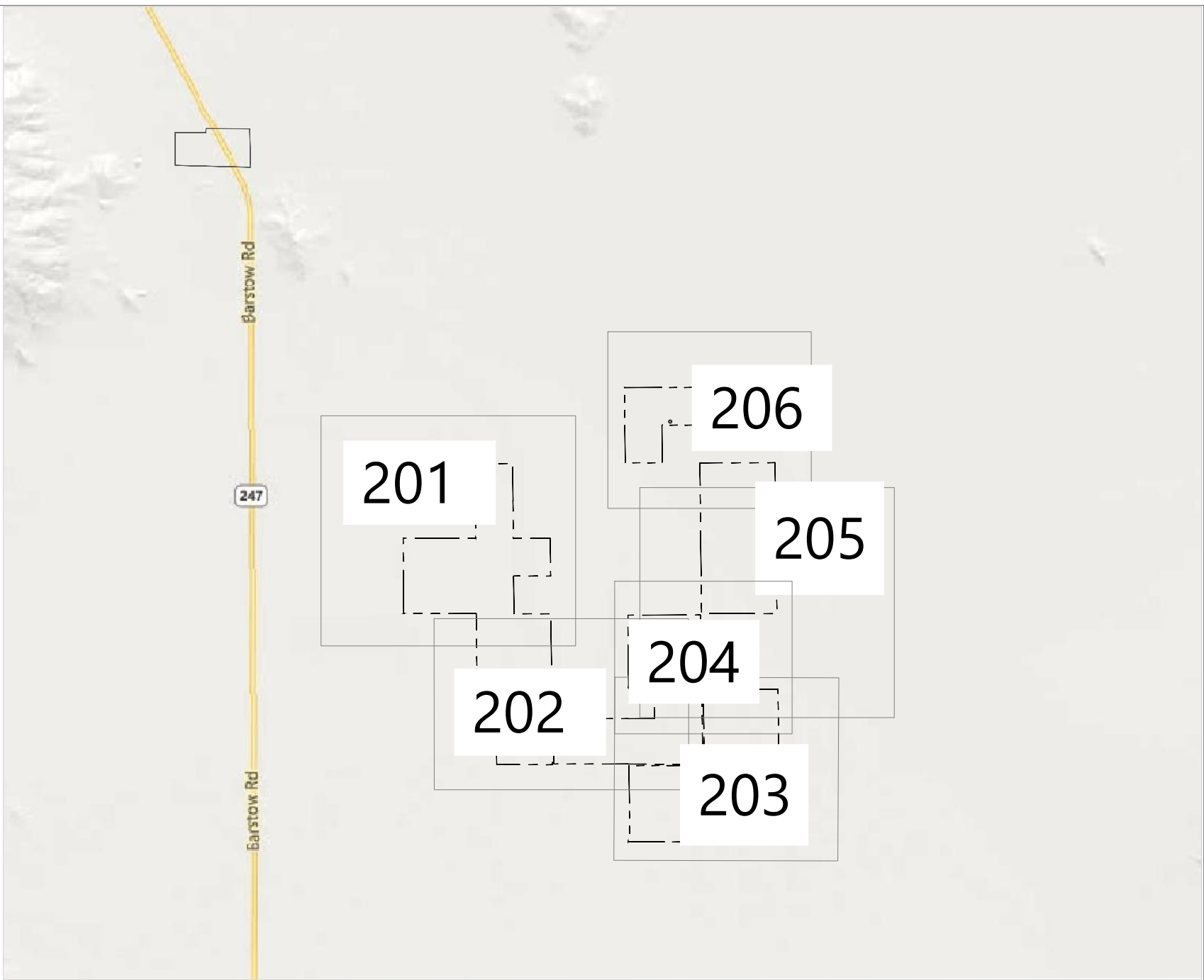
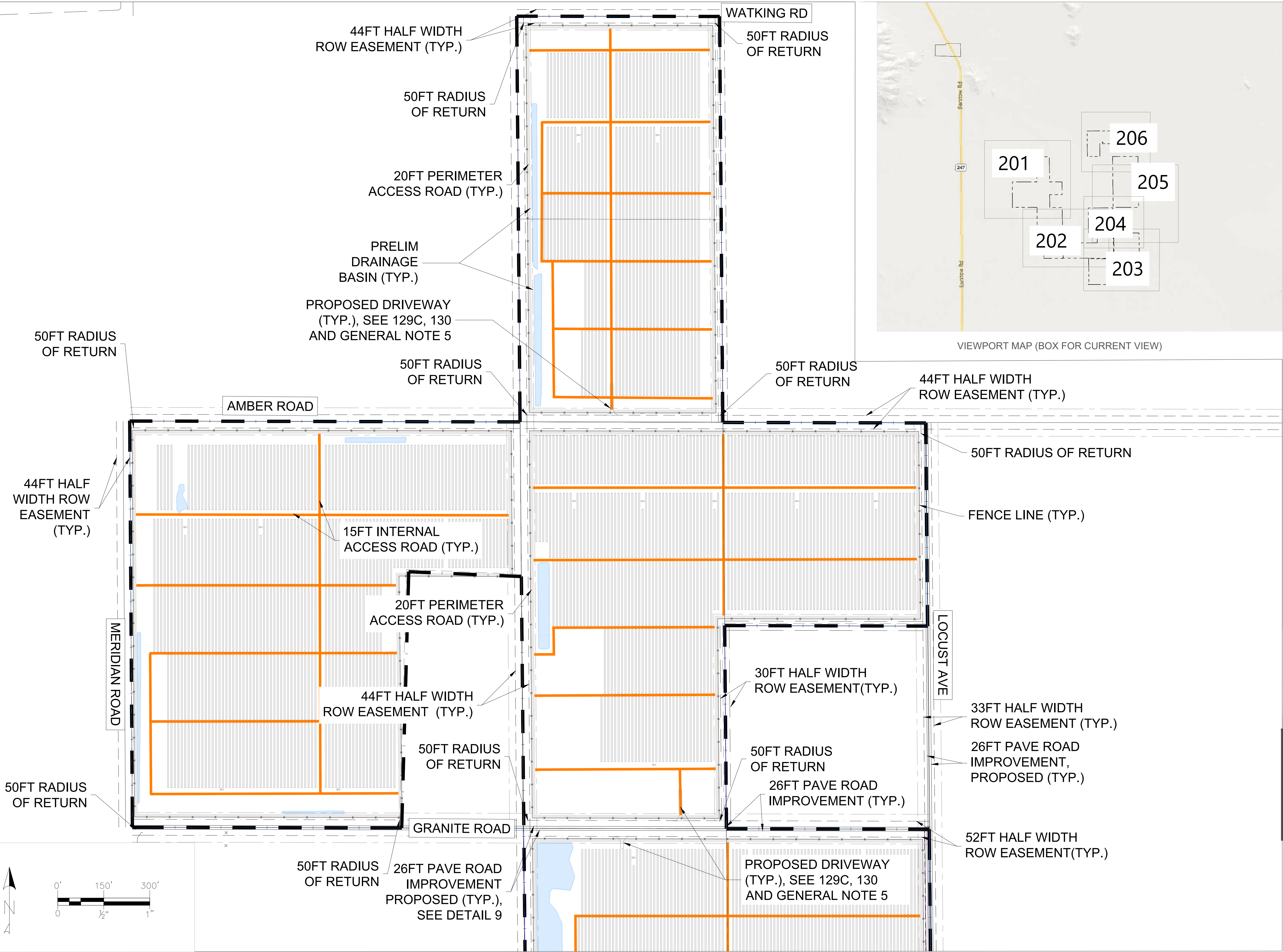
LUCERNE VALLEY, CA

33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

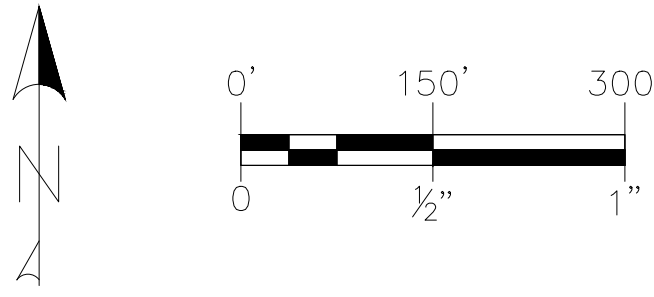
PV ENLARGED PLAN VIEW

DATE: October 8, 2025

SHEET: C201

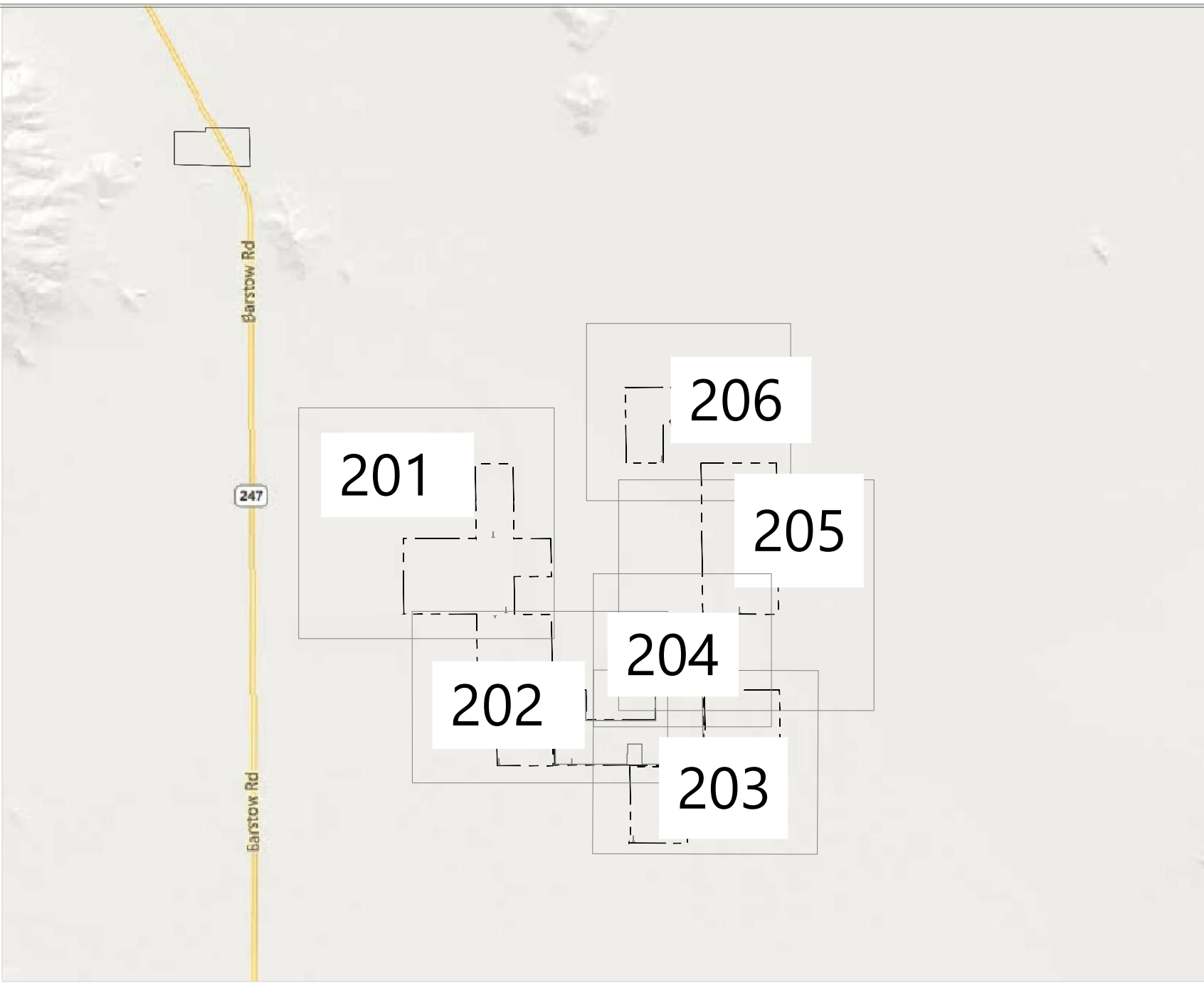


VIEWPORT MAP (BOX FOR CURRENT VIEW)



REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

- NOTES:
1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
 2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
 3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
 4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
 5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
 6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.



VIEWPORT MAP (BOX FOR CURRENT VIEW)

LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

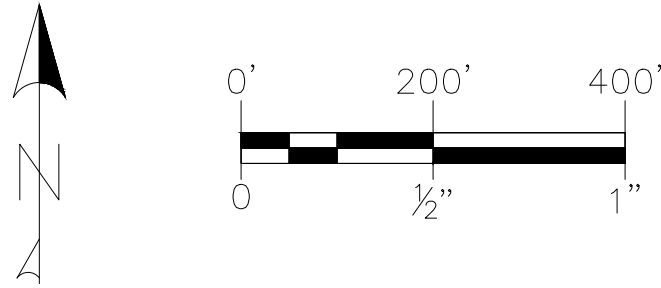
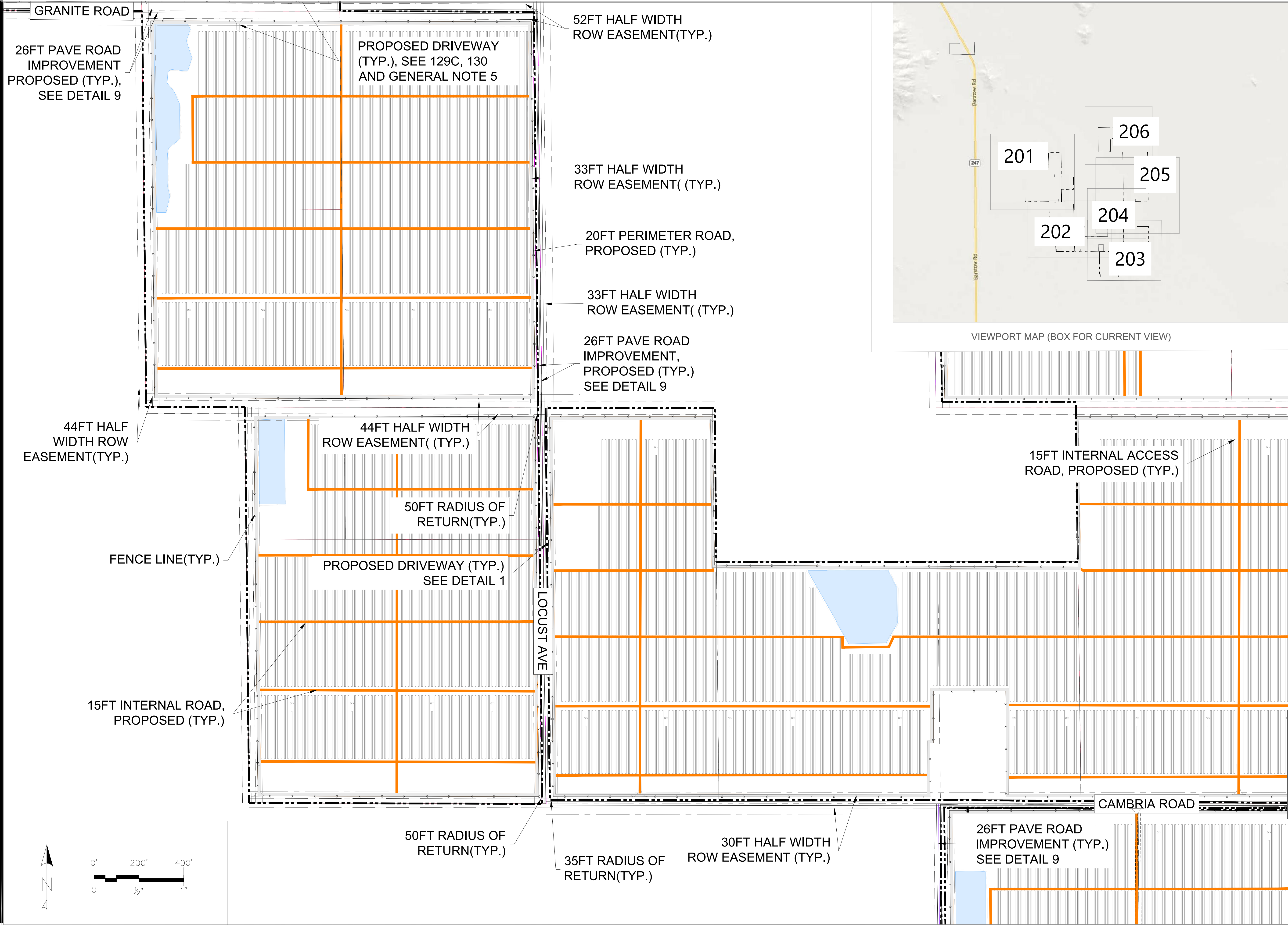
SIENNA SOLAR PROJECT

LUCERNE VALLEY, CA
33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

PV ENLARGED PLAN VIEW

DATE: October 8, 2025

SHEET: C202



REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

NOTES:

1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

SIENNA SOLAR PROJECT

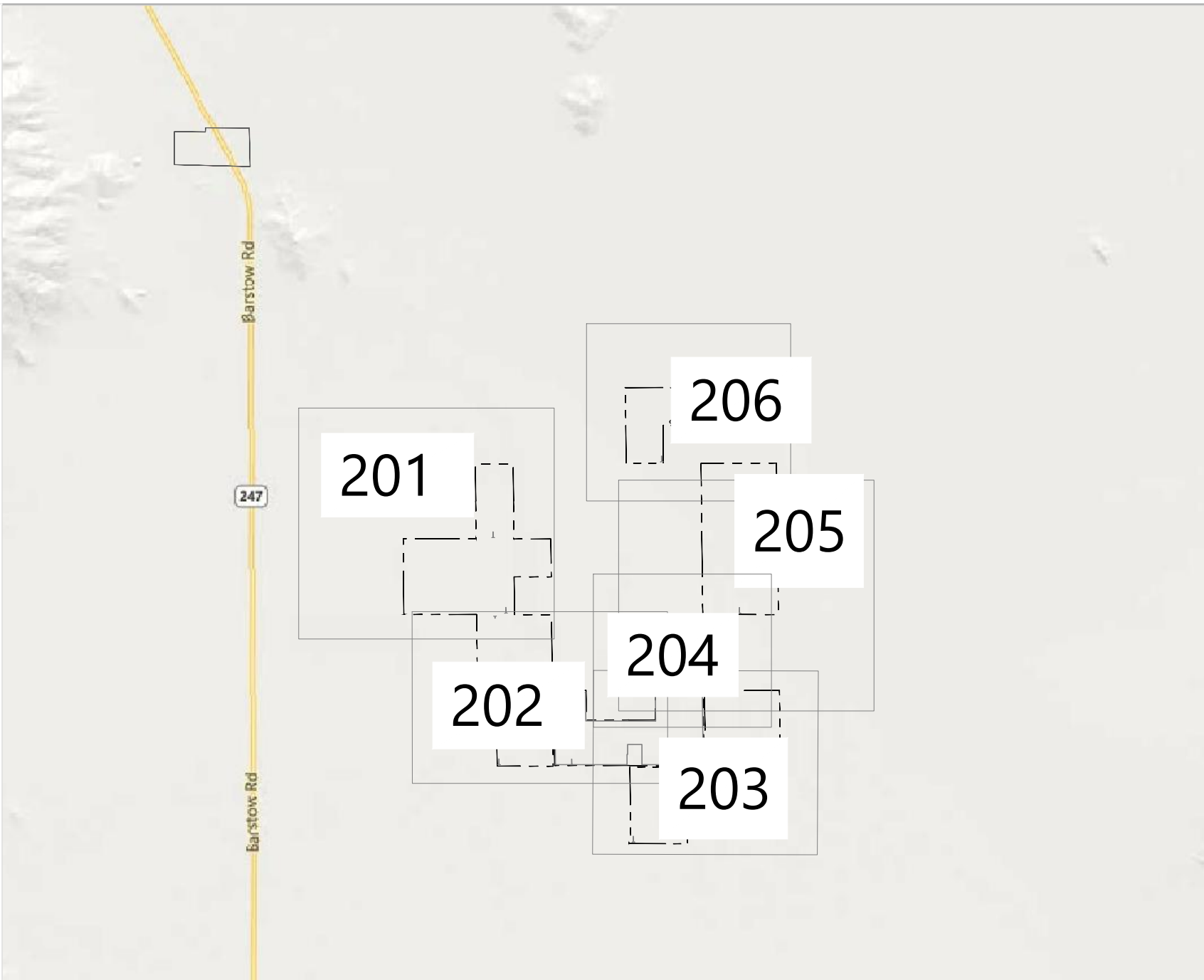
LUCERNE VALLEY, CA

33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

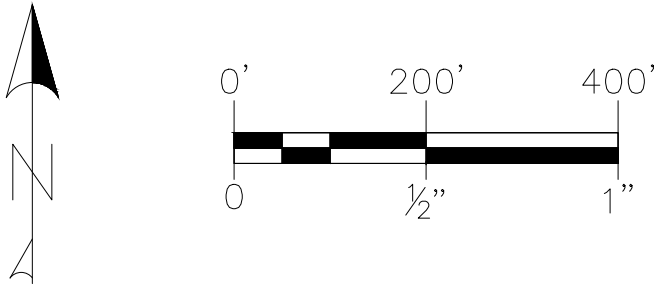
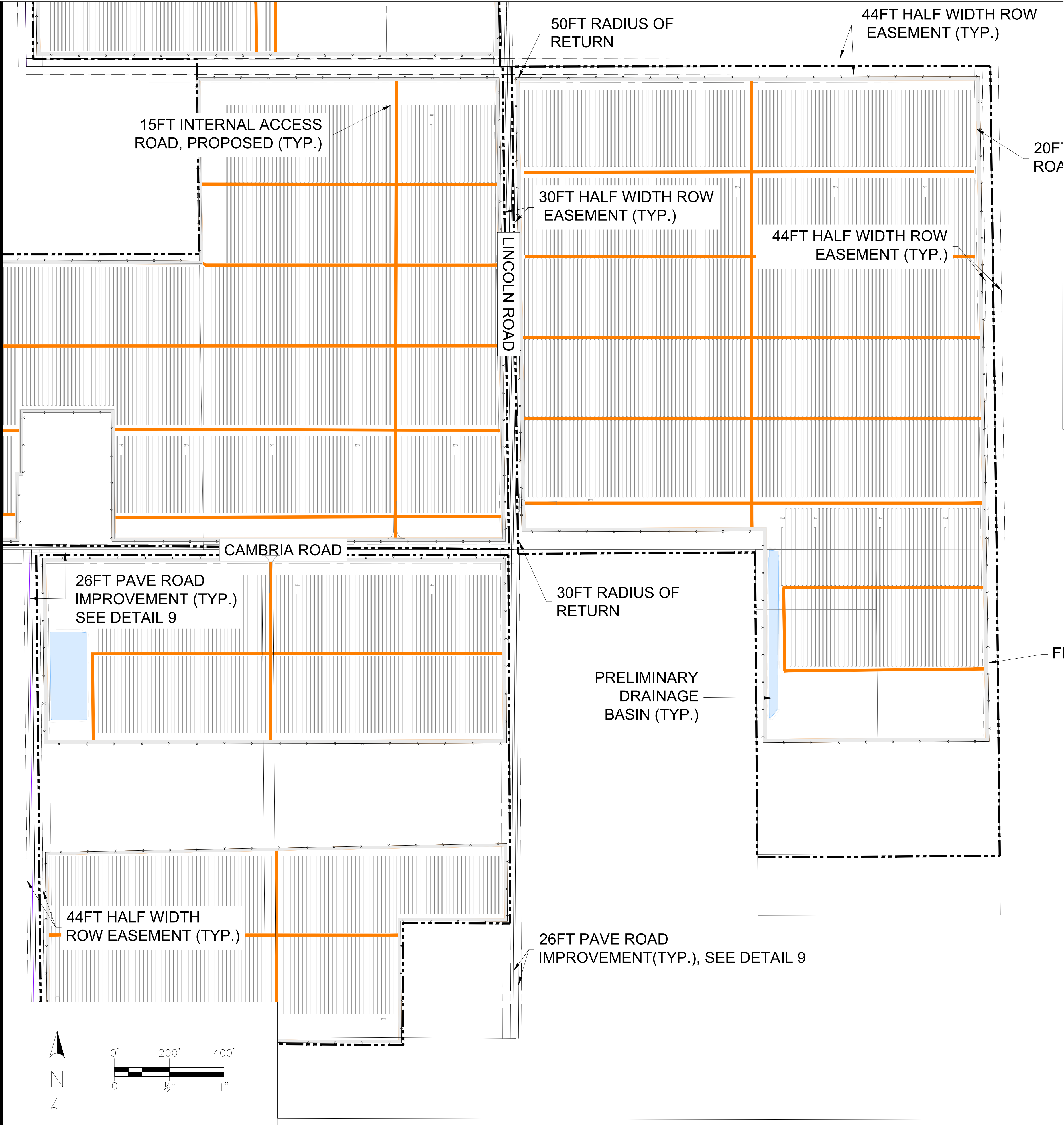
PV ENLARGED PLAN VIEW

DATE: October 8, 2025

SHEET: C203



VIEWPORT MAP (BOX FOR CURRENT VIEW)



REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

- NOTES:
1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
 2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
 3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
 4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
 5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
 6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

SIENNA SOLAR PROJECT

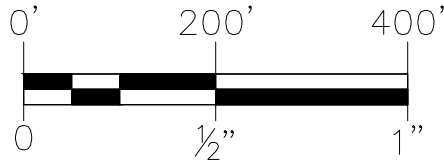
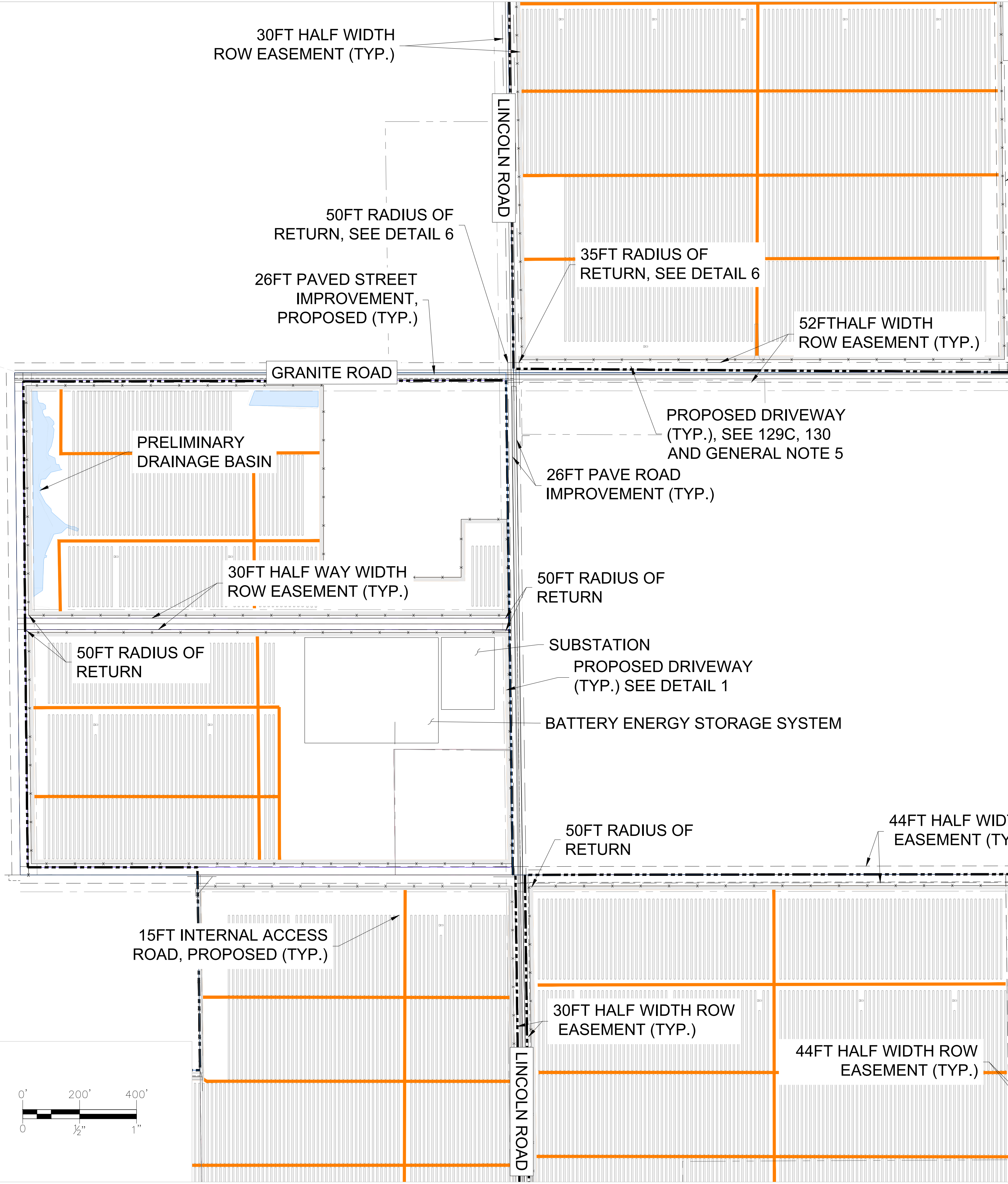
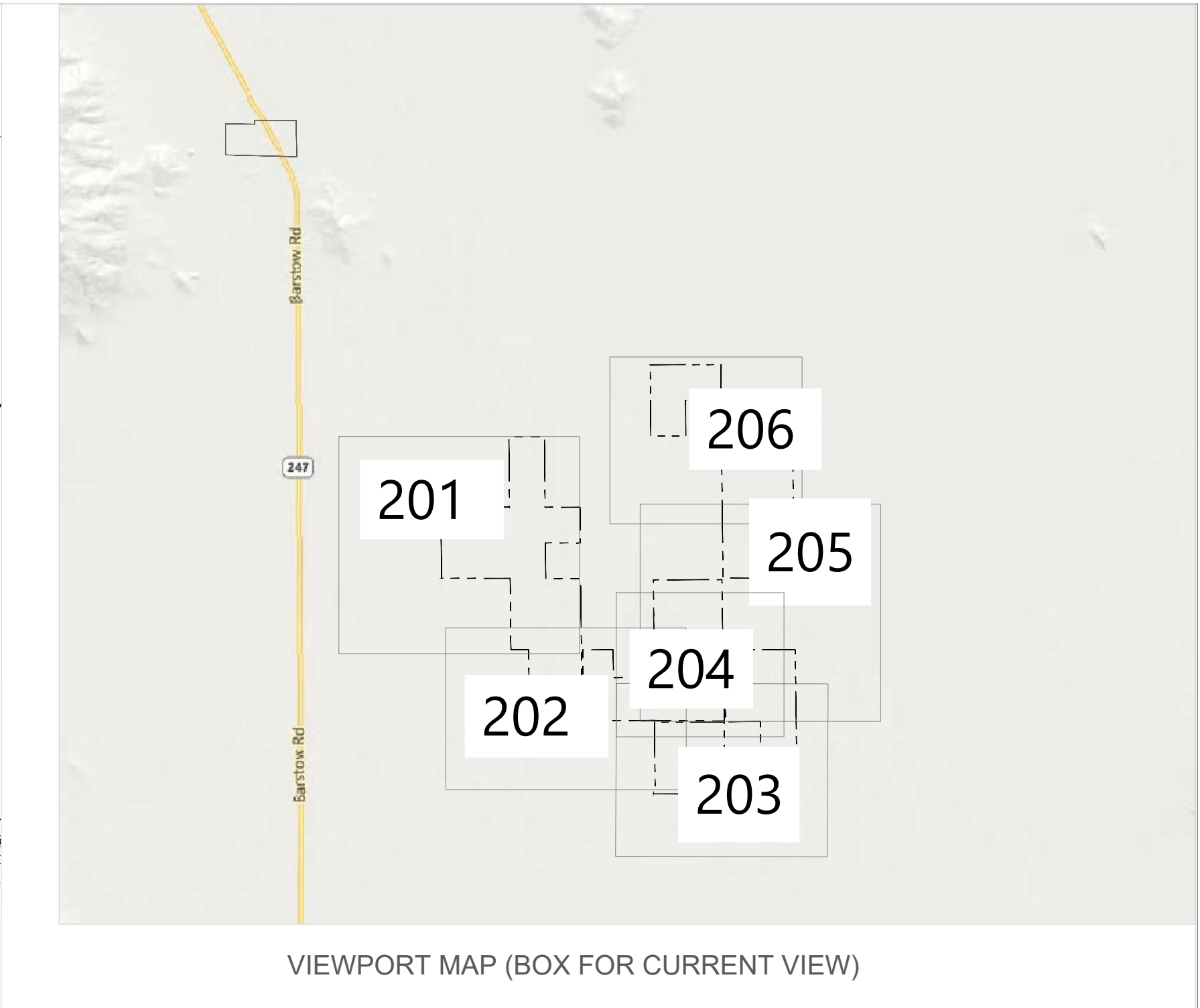
LUCERNE VALLEY, CA

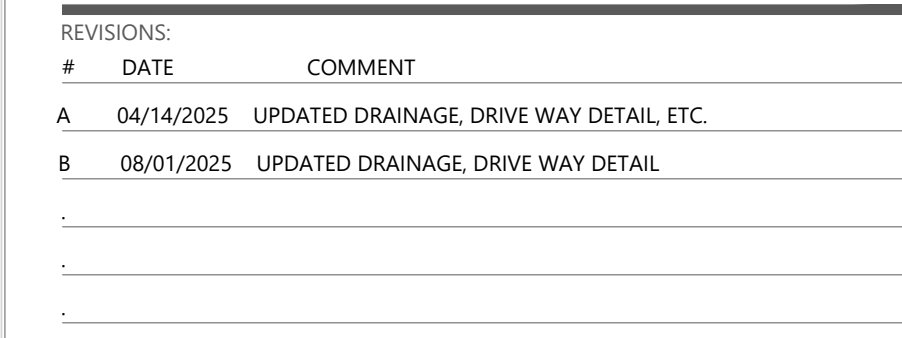
33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

PV ENLARGED PLAN VIEW







DATE: October 8, 2025

SHEET: C204





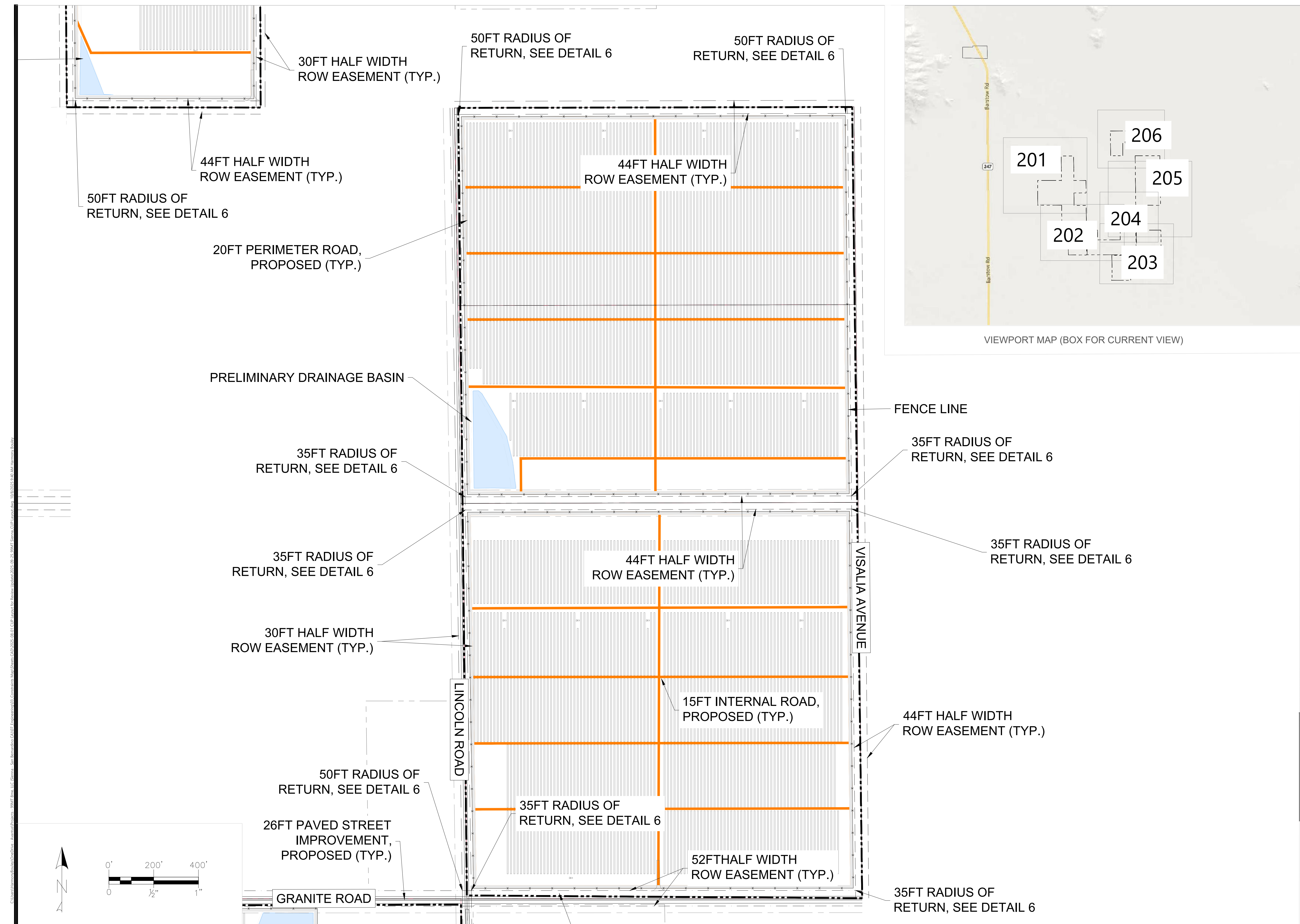
1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

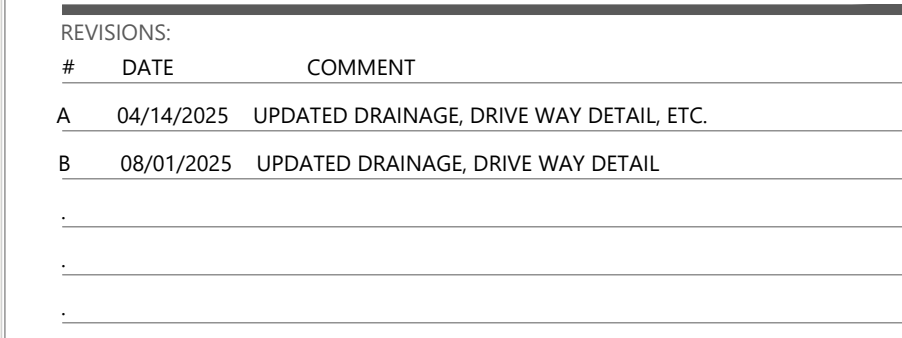
LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

LUCERNE VALLEY, CA
33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES







DATE: October 8, 2025

SHEET: C205





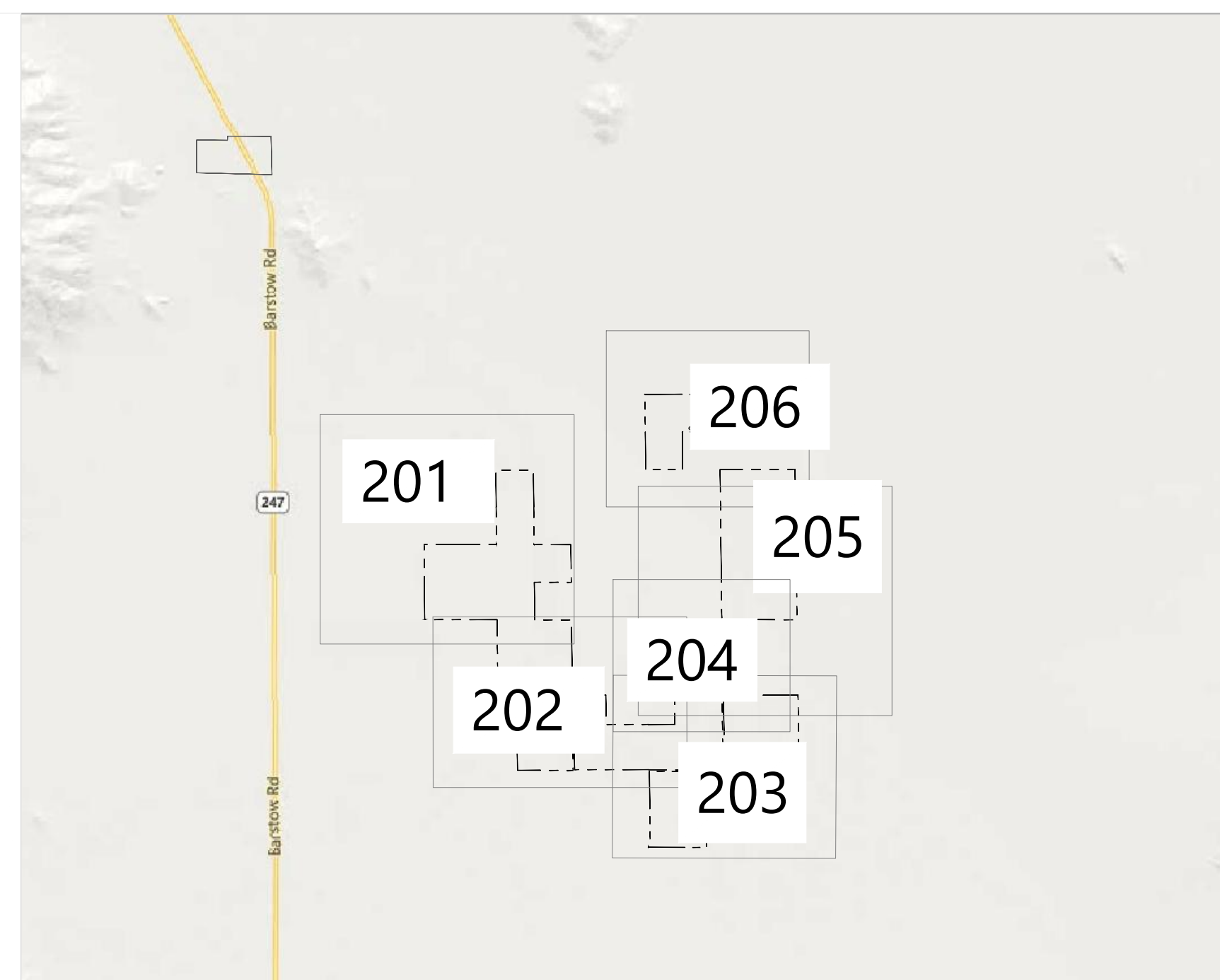
1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.
5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.
6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

LUCERNE VALLEY, CA
33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

DATE: October 8, 2025

SHEET: C205

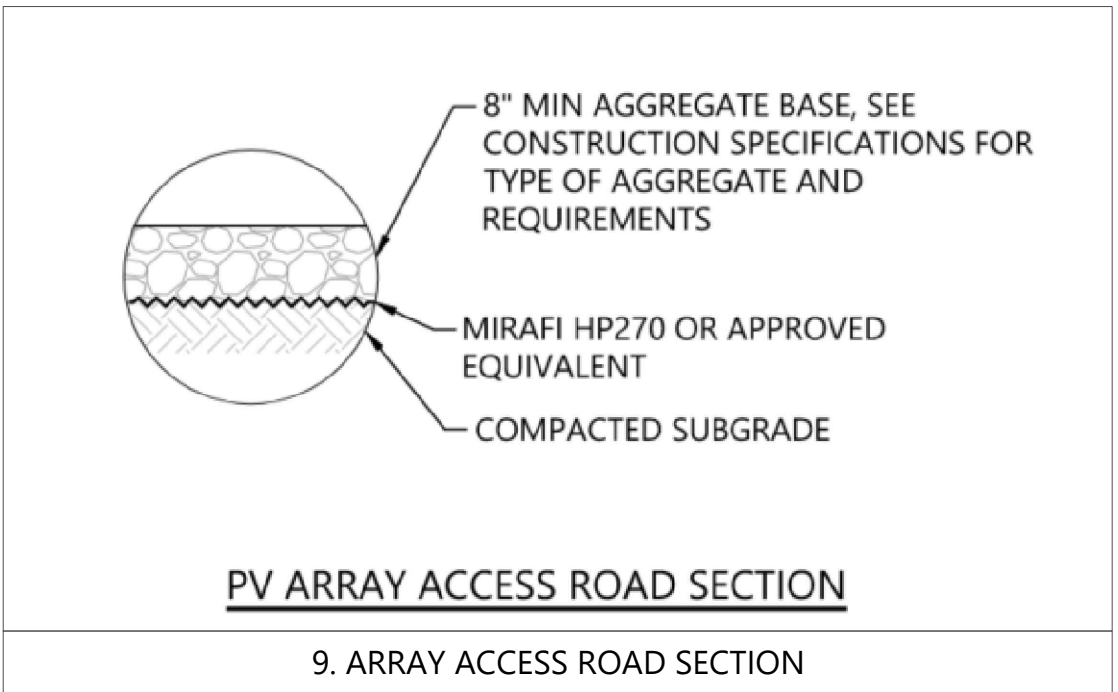
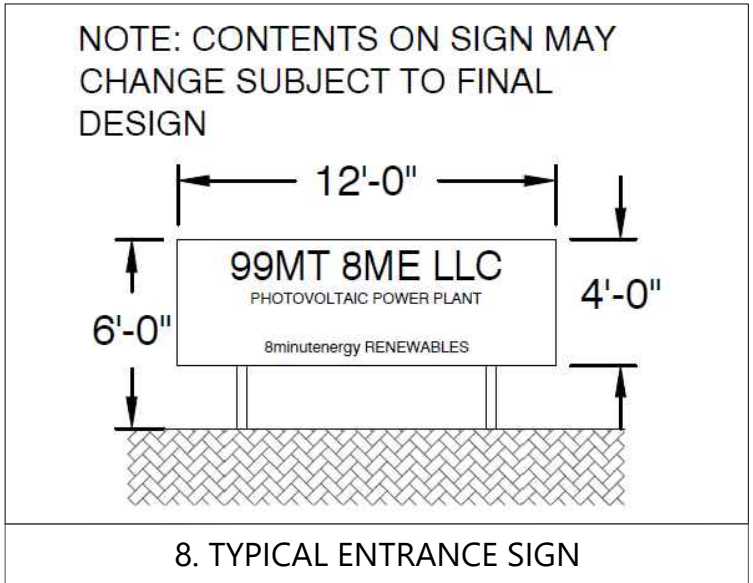
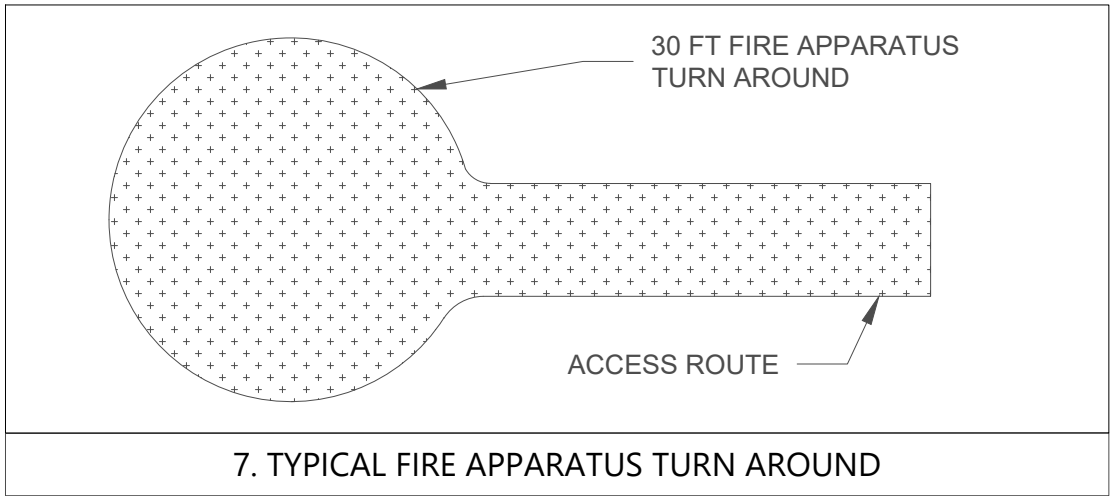
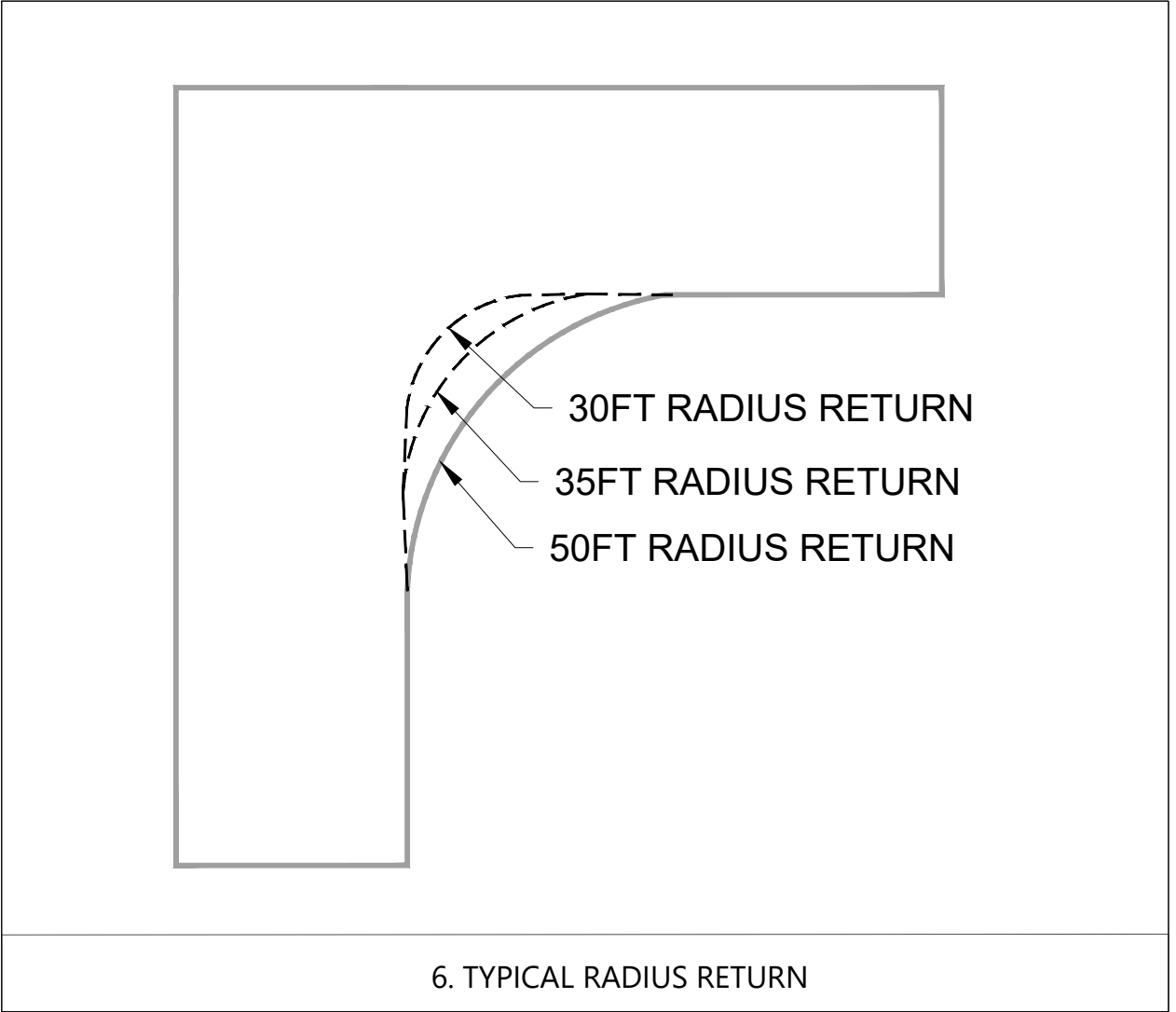
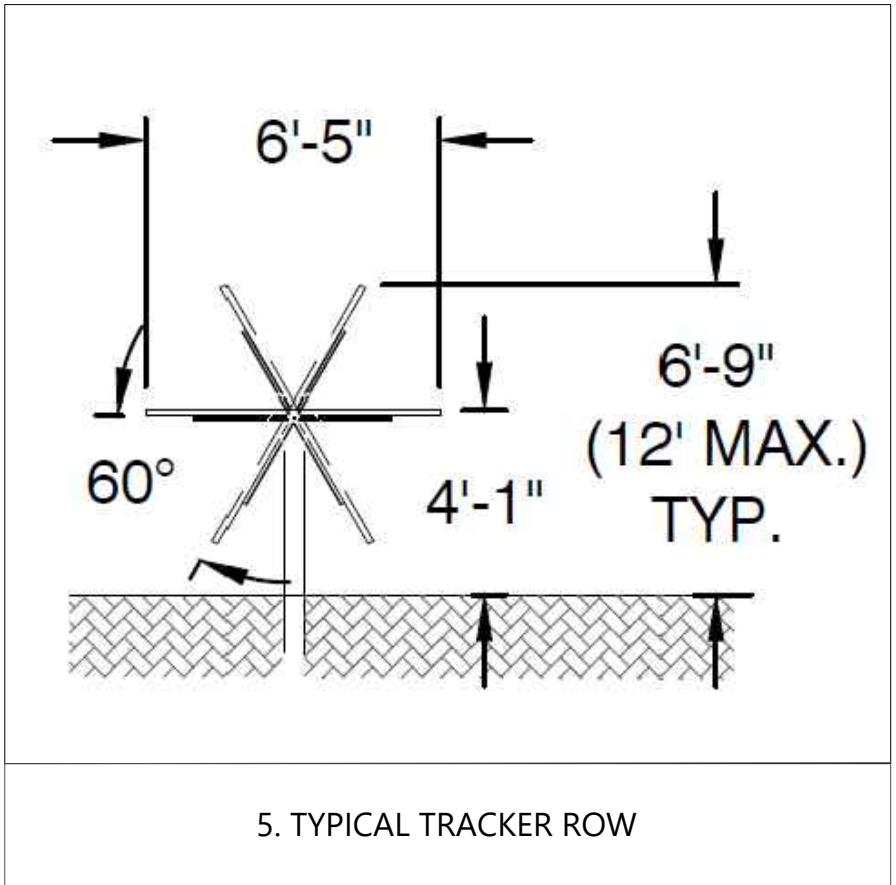
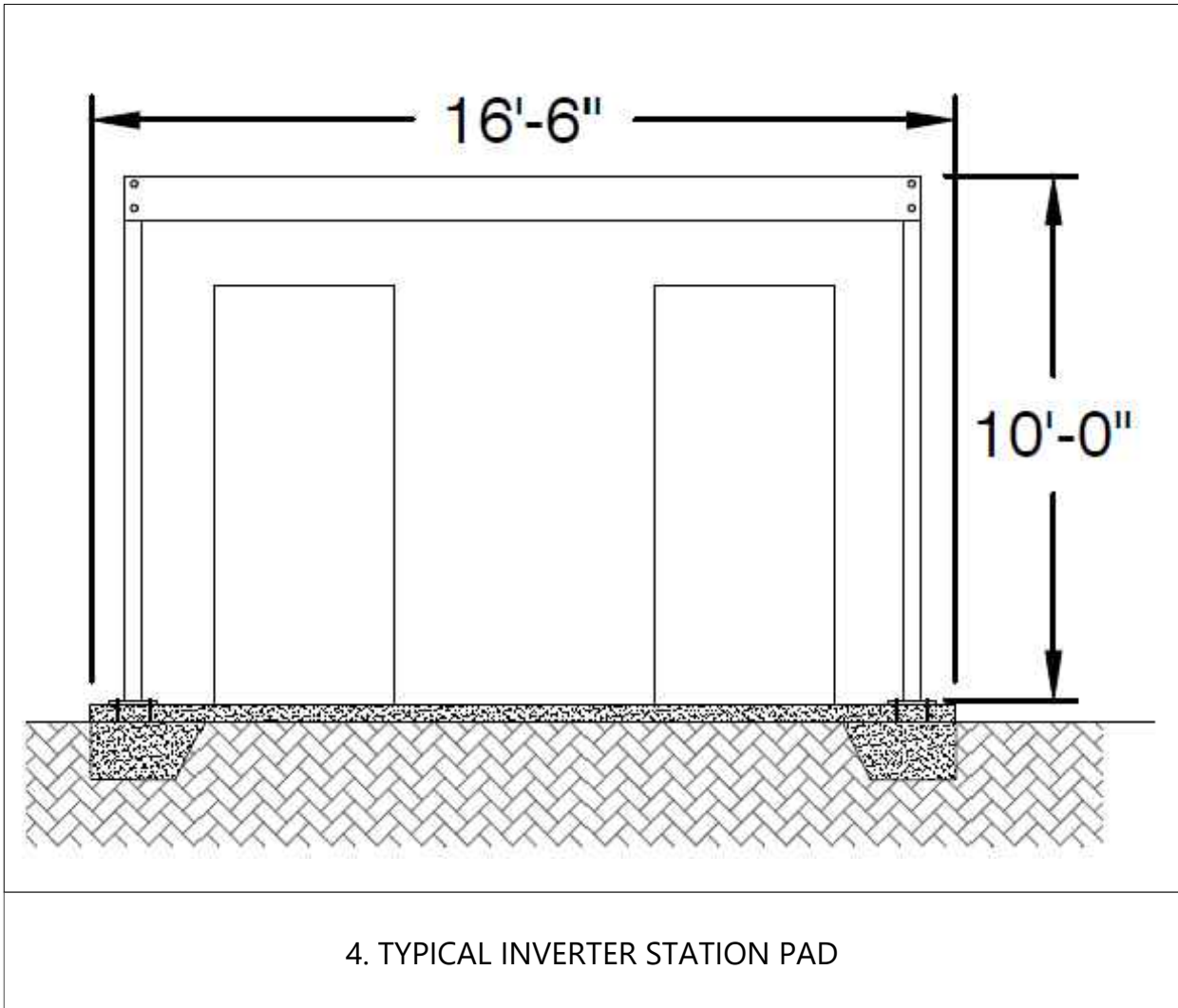
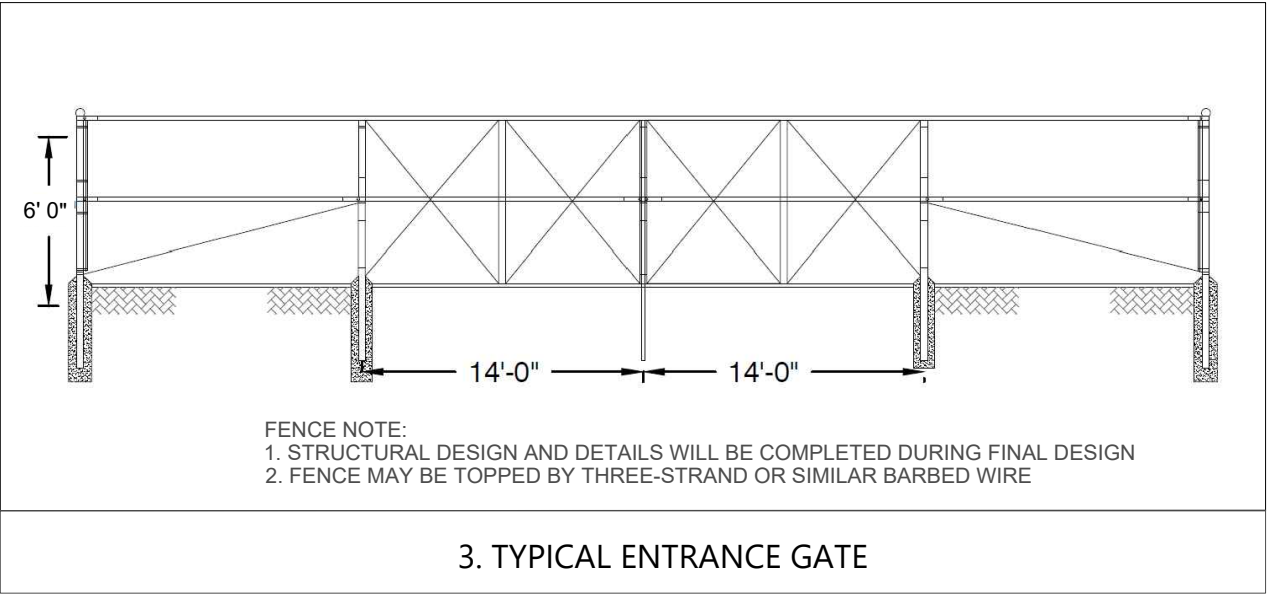
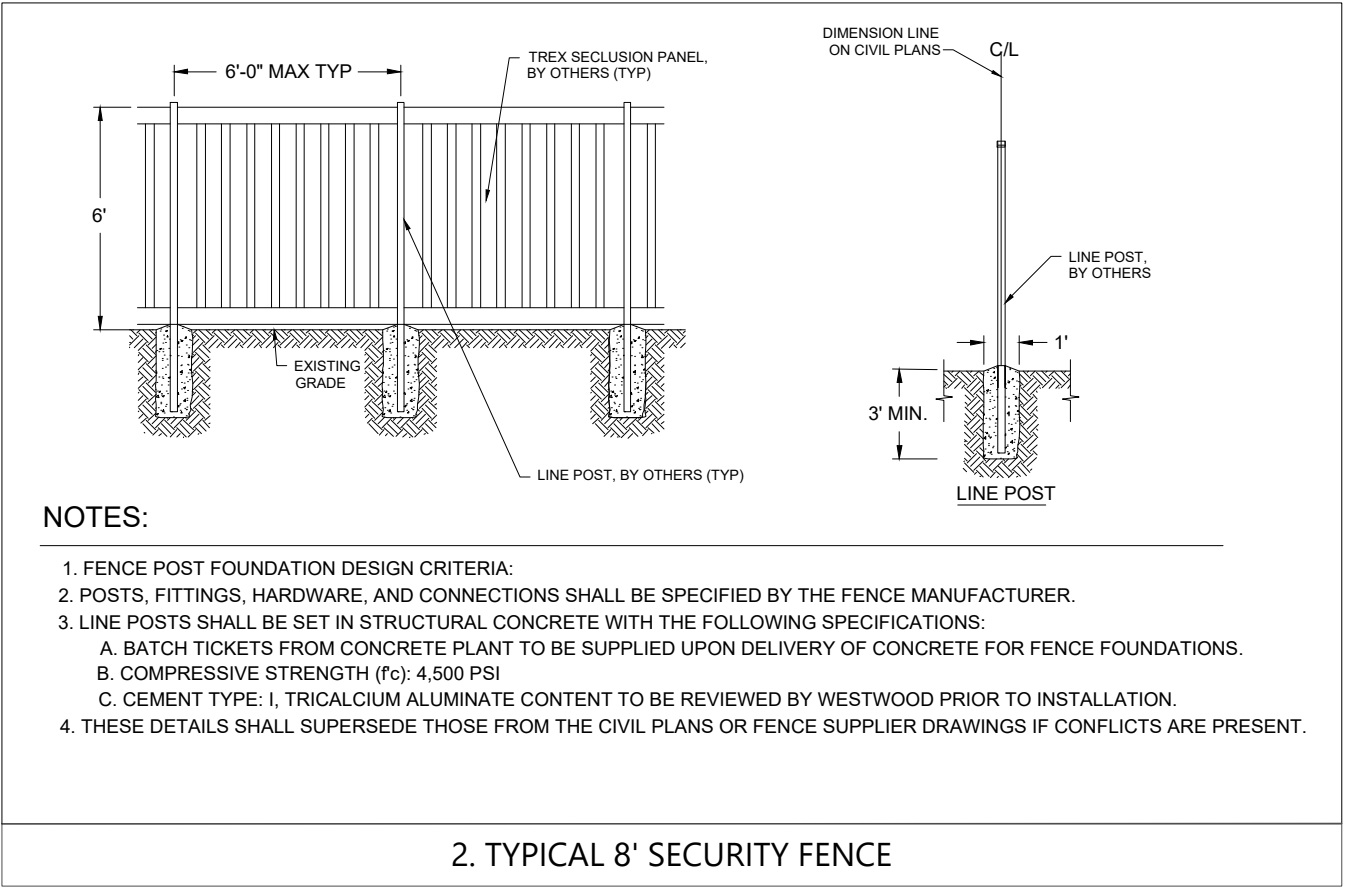
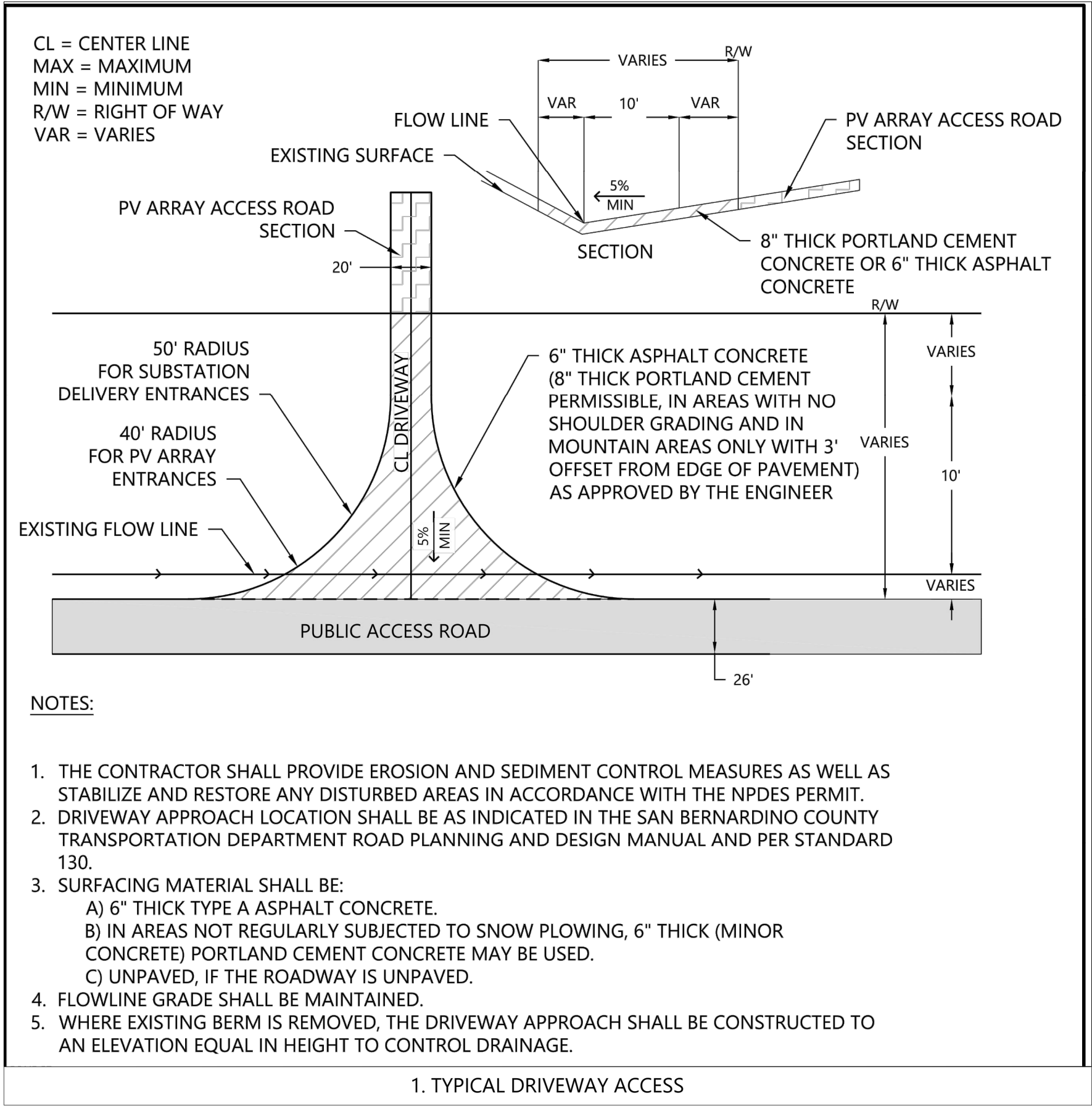


VIEWPORT MAP (BOX FOR CURRENT VIEW)

REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

NOTES:

- CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
- INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 20FT AND 15FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
- PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
- ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS).
- DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.



SIENNA SOLAR PROJECT

LUCERNE VALLEY, CA

33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

DETAIL OVERVIEW

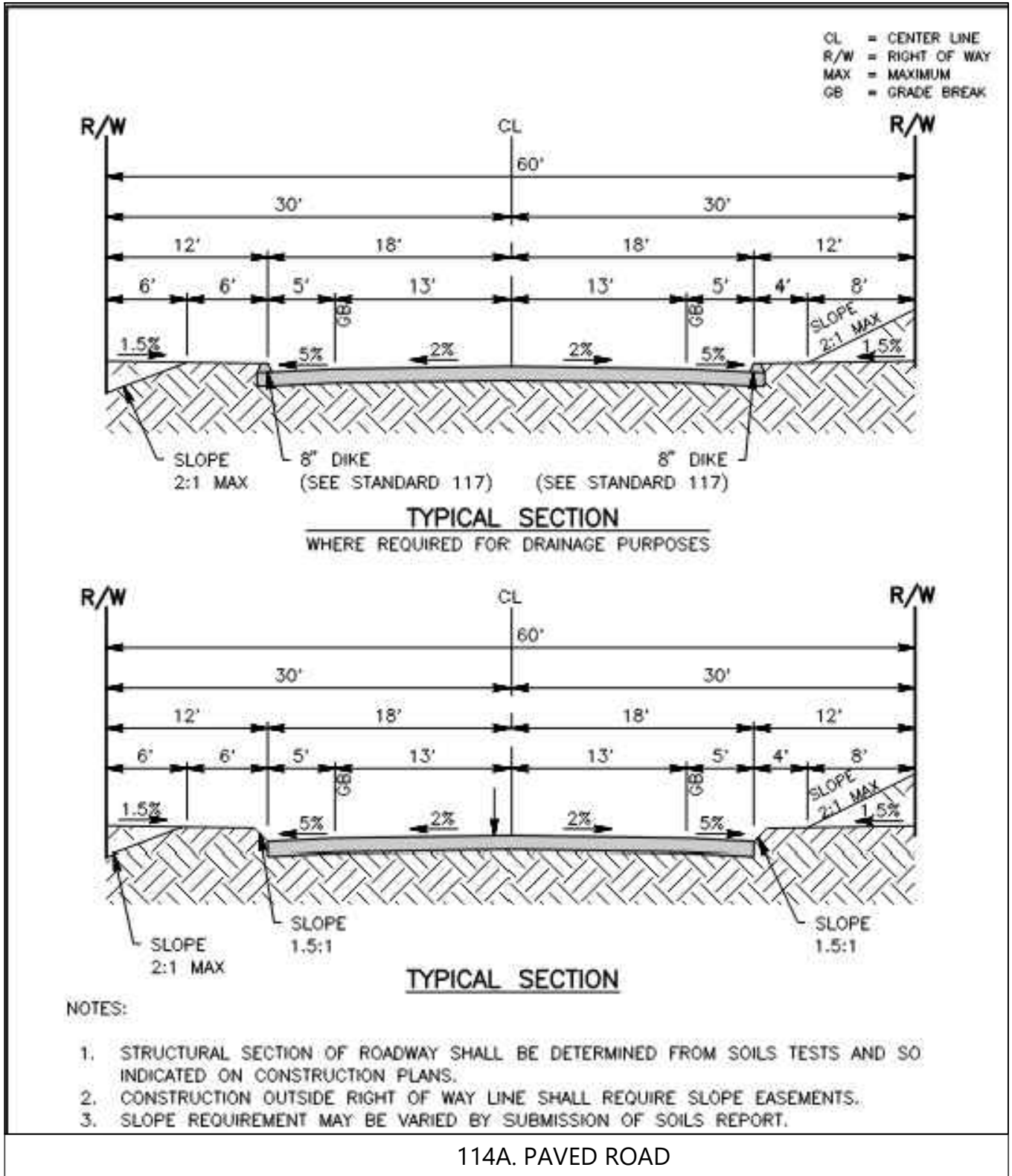
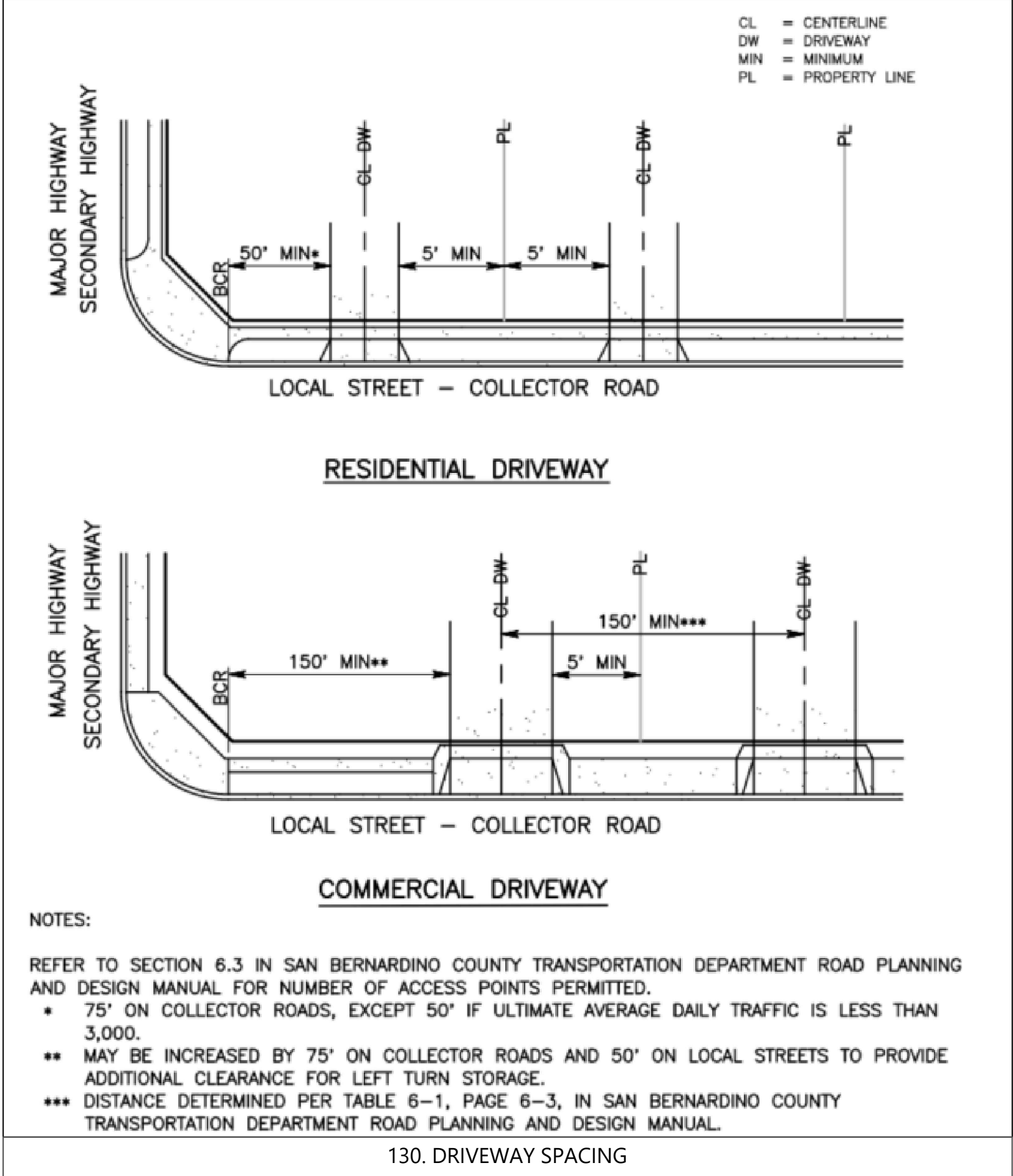
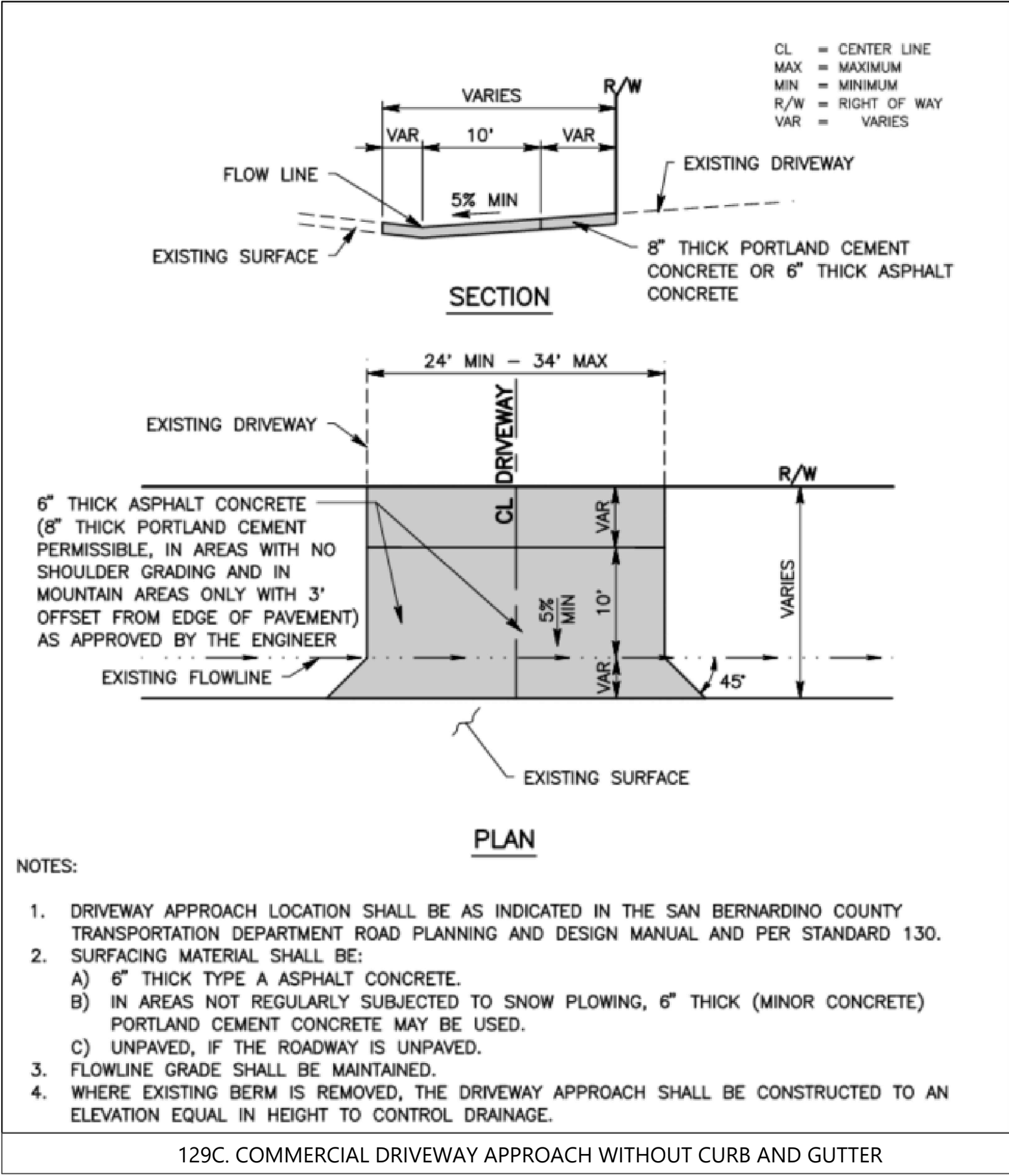
DATE: September 25, 2025

SHEET: C207

REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

NOTES:

1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 20FT AND 15FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
3. PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.
4. ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS).
5. DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.



SIENNA SOLAR
PROJECT

LUCERNE VALLEY, CA
33850 GRANITE RD, LUCERNE VALLEY
CA 92356 UNITED STATES

DETAIL OVERVIEW

DATE: September 26, 2025

SHEET: C208