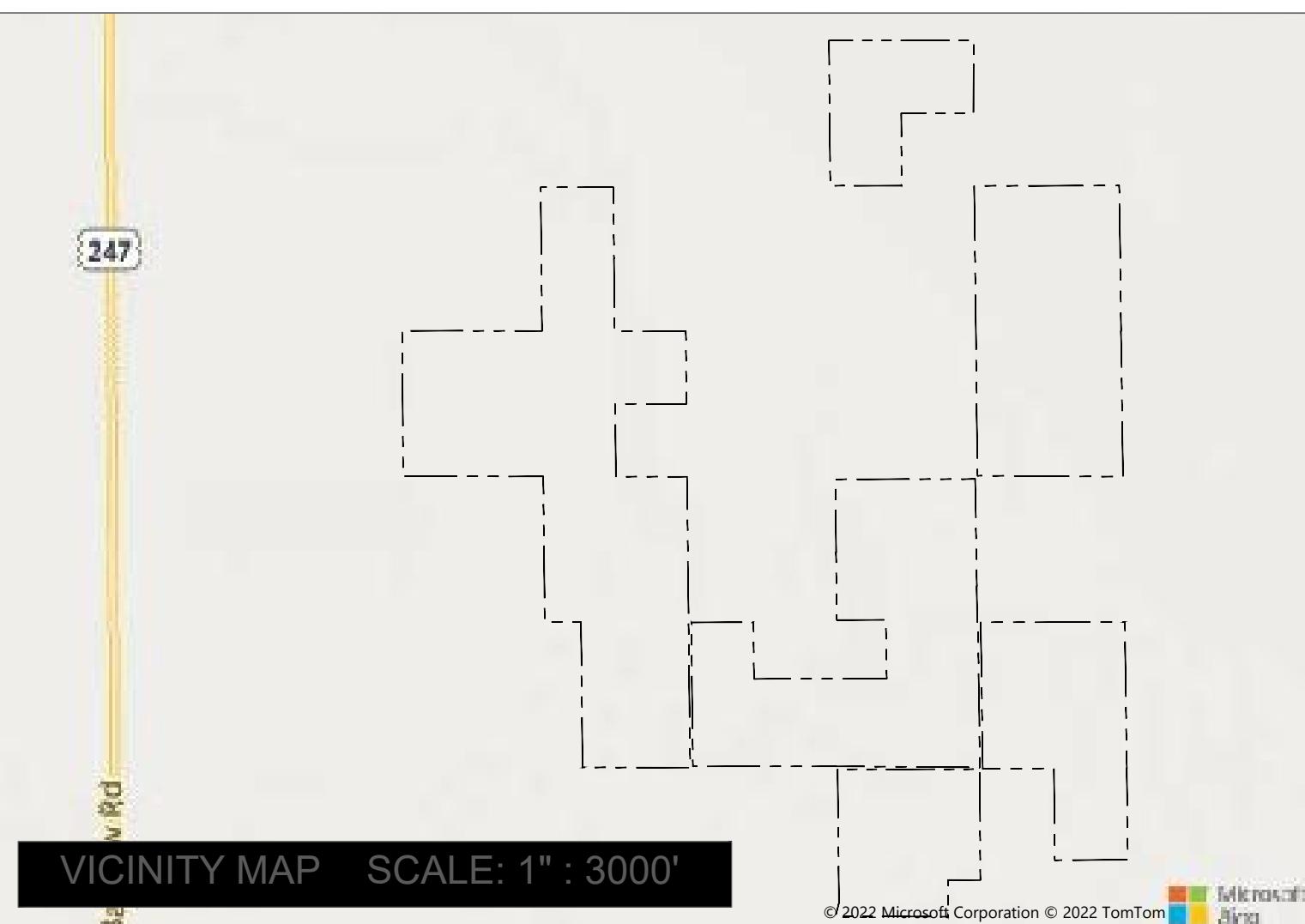




OFFICIAL USE ONLY:



## PROJECT DATA:

1. MAX. TBD MWAC SOLAR PHOTOVOLTAIC ENERGY GENERATION.
2. MAX. TBD MWAC ENERGY STORAGE
3. LF OF FENCE: TBD
4. NUMBER OF INVERTERS: TBD
5. NUMBER OF TRACKERS: TBD
6. NUMBER OF SOLAR PANELS: TBD
7. NUMBER OF DRIVE MOTORS: TBD

- \* PRECISE NUMBER OF INVERTERS, TRACKERS, SOLAR MODULES, AND OTHER PLAN FEATURES WILL VARY BASED ON THE SELECTED PRODUCT MANUFACTURERS. SUCH CHANGES WOULD NOT RESULT IN ANY NOTICEABLE PHYSICAL OR OPERATIONAL IMPACT TO THE FACILITY.

## PROJECT NOTES:

1. NO PARKING IS PROPOSED OR REQUIRED.
2. NO GRADING IS PROPOSED OR REQUIRED.
3. NO LANDSCAPING IS PROPOSED OR REQUIRED.
4. LOT COVERAGE
  - 4.1. TOTAL PARCEL AREA: 1,855 ACRES
  - 4.2. IMPERVIOUS AREA: XX.XX ACRES
  - 4.3. LANDSCAPED: 0 ACRES
  - 4.4. OPEN SPACES (OUTSIDE PROJECT FENCE): TBD ACRES
  - 4.5. IMPERVIOUS SURFACE: < XX PERCENT
5. NEW PAVED DRIVEWAY LENGTH: XXXX' FT
6. LIGHTING WILL BE LIMITED TO SMALL-SCALE FIXTURES ALONG THE PERIMETER AND AS REQUIRED BY BUILDING CODES FOR ON-SITE ELECTRICAL FACILITIES. ALL FIXTURES WILL BE DIRECTED ONSITE AND SHIELDED IN COMPLIANCE WITH COUNTY REGULATIONS.
7. POLE-MOUNTED SECURITY CAMERAS MAY BE USED. ONE CAMERA PER ENTRANCE AT 30 FEET (MAX.) HEIGHT.
8. PROJECT SETBACK AT ALL OTHER PROJECTS EDGES NOT CALLED IS 15 FEET.
9. DRIVEWAY APPROACH LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY TO ADHERE TO COUNTY STANDARDS 129C AND 130.

## PROJECT SUBSTATION (S):

1. EACH SUBSTATION WOULD OCCUPY AN AREA OF UP TO APPROXIMATELY FIVE (5) ACRES, SECURED SEPARATELY BY A CHAIN-LINK FENCE.
2. SUBSTATIONS TYPICALLY INCLUDE A SMALL CONTROL BUILDING (ROUGHLY 500 SQUARE FEET) STANDING APPROXIMATELY 10 FEET IN HEIGHT.
3. THE FINAL LOCATION(S) OF EACH COMPONENT WOULD BE DETERMINED BEFORE THE ISSUANCE OF BUILDING PERMITS.

## GENTIE / INTERCONNECTION:

1. THE PROJECT WILL INTERCONNECT AT THE SOUTHERN CALIFORNIA EDISON CALCITE SUBSTATION (CURRENTLY PENDING FINAL PERMITS AND CONSTRUCTION) VIA A PROPOSED OVERHEAD AND/OR UNDERGROUND 220-KV GEN-TIE LINE IN ADDITION TO OTHER ANCILLARY FACILITIES UTILIZING PRIVATE AND POTENTIALLY PUBLIC ROWS.

## OPERATIONS AND MAINTENANCE BUILDING

1. THE PROJECT MAY INCLUDE AN O&M BUILDING, TYPICALLY 40 FEET X 80 FEET IN SIZE, WITH DESIGNATED PARKING. IF CONSTRUCTED, THE O&M BUILDING WOULD LIKELY BE STEEL FRAMED, WITH METAL SIDING AND ROOF PANELS.
2. THE FINAL LOCATION(S) OF EACH APPLICABLE COMPONENT WOULD BE DETERMINED BEFORE THE ISSUANCE OF BUILDING PERMITS.

## SITE SECURITY AND FENCING

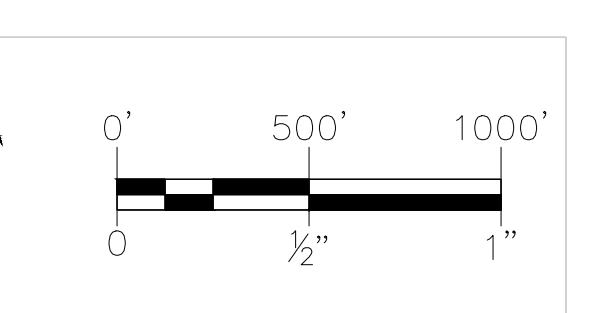
**1. THE PROJECT AREA WILL BE ENCLOSED WITHIN A CHAIN LINK FENCE MEASURING UP TO EIGHT FEET IN HEIGHT FROM FINISHED GRADE**

## UTILITIES:

OTHERS.

THE PROJECT MAY INCLUDE ONE OR MORE BESS', LOCATED AT OR NEAR A SUBSTATION/SWITCHYARD (ONSITE OR SHARED) AND/OR AT THE INVERTER STATIONS, OR ELSEWHERE ONSITE. SUCH LARGE-SCALE BESSS WOULD BE UP TO 525 MWAC IN CAPACITY AND UP TO 45 ACRES IN TOTAL AREA. BESS' CONSIST OF MODULAR AND SCALABLE BATTERY PACKS AND BATTERY CONTROL SYSTEMS THAT CONFORM TO U.S. NATIONAL SAFETY STANDARDS. THE BESS MODULES, WHICH COULD INCLUDE COMMERCIALLY AVAILABLE LITHIUM, FLOW, OR OTHER BATTERIES, TYPICALLY CONSIST STANDARD CONTAINERS HOUSED IN PAD- OR POST-MOUNTED, STACKABLE METAL STRUCTURES, BUT MAY ALSO BE HOUSED IN A DEDICATED BUILDING(S) IN COMPLIANCE WITH APPLICABLE REGULATIONS. THE MAXIMUM HEIGHT OF A DEDICATED STRUCTURE IS NOT EXPECTED TO EXCEED 45 FEET

INVERTER STATIONS ARE TYPICALLY COMPRISED OF ONE OR MORE INVERTER MODULES WITH A RATED POWER OF UP TO APPROXIMATELY 5-MW EACH, A UNIT TRANSFORMER, AND VOLTAGE SWITCH GEAR. THE UNIT TRANSFORMER AND VOLTAGE SWITCH GEAR ARE HOUSED IN STEEL ENCLOSURES, WHILE THE INVERTER MODULE(S) ARE HOUSED IN CABINETS. DEPENDING ON THE MODEL ULTIMATELY SELECTED, THE INVERTER STATION MAY LIE WITHIN AN ENCLOSED OR CANOPIED METAL STRUCTURE, TYPICALLY ON A SKID OR CONCRETE MOUNTED PAD. THE FINAL LOCATION(S) OF EACH COMPONENT WOULD BE DETERMINED BEFORE THE ISSUANCE OF BUILDING PERMITS.



# SIENNA SOLAR AND STORAGE PROJECT

# LUCERNE VALLEY, CA

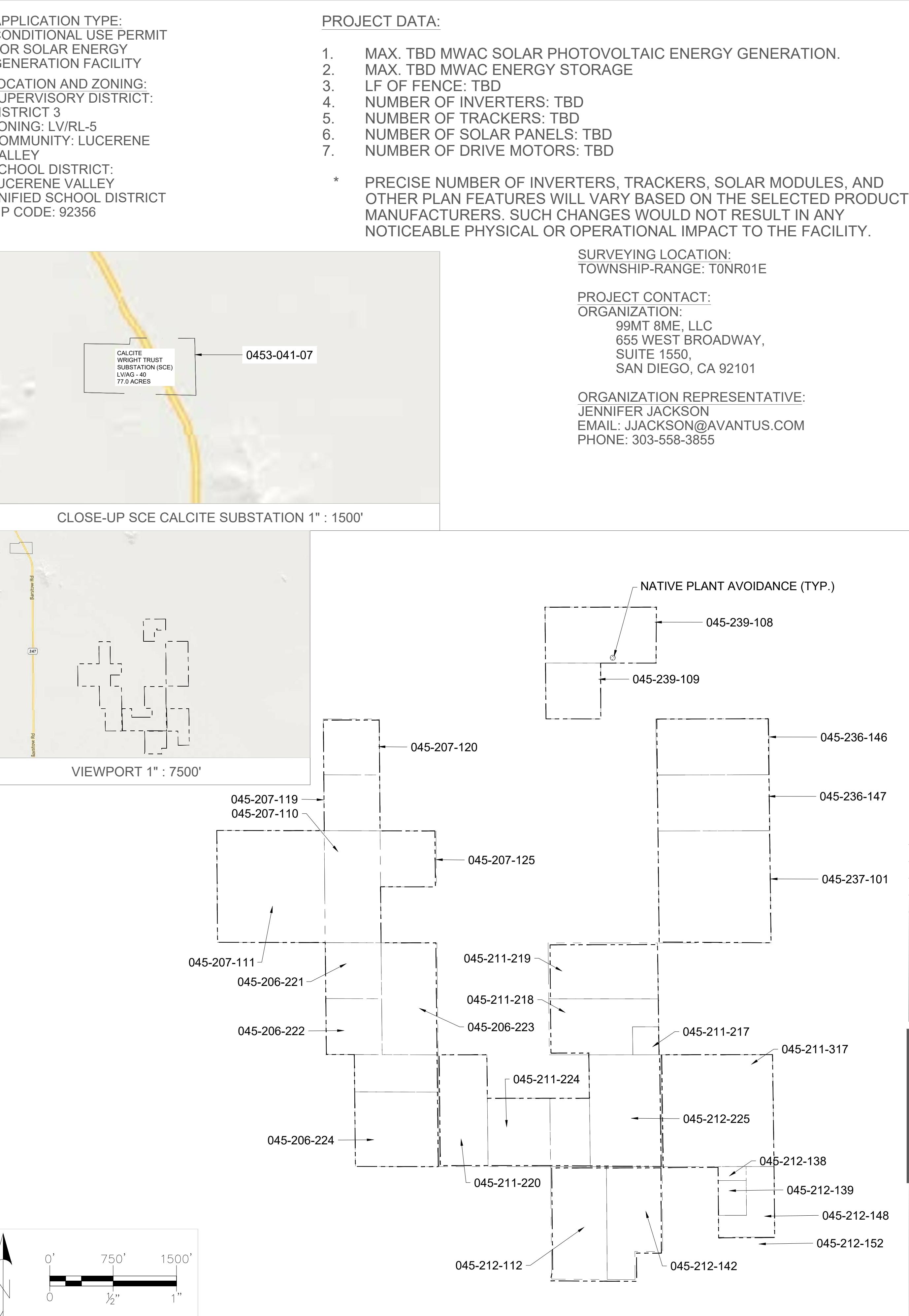
REFERENCE ADDRESS: 33850 GRANITE RD,  
LUCERNE VALLEY CA 92356 UNITED STATES

# PRELIM. CONDITIONAL USE PERMIT (CUP) SITE PLAN

DATE: October 8, 2025

HEET: C100

Property Owner #	APN	Owner/Contact Information	Zoning	Acres/APN
1	0452-071-20	Benito O Michel, and Manuela G Michel 16021 Promontory Pl, La Mirada, CA 90638-3475	LV/AG	40.2
2	0452-071-11	Benito O Michel, and Manuela G Michel 16021 Promontory Pl, La Mirada, CA 90638-3475	LV/AG	154.9
3	0452-062-21	Magdalena Martinez, Trustee of the 2013 Martinez Family Trust 8234 Escondido Avenue, Oak Hills, CA 92344	LV/AG	40.2
4	0452-062-22	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	76.4
5	0452-062-23	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	80.4
6	0452-062-24	Miguel A. Gaeta and Maria De Gaeta 9366 Joshua Ave, Lucerne Valley, CA 93256	LV/AG	84.4
		Lua Family Trust: Michael T. Lua and Donna S. Lua, Trustees of the Lua Family Trust 18838 Aldridge Pl., Rowland Heights, CA 91748	LV/AG	
7	0452-112-20	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	70.2
8	0452-112-24	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	89.9
9	0452-121-12	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	80.9
10	0452-121-42	MB Landscaping Inc. Attn: Federico Martinez 20300 S. Figueroa Street, Carson, CA 90745	LV/AG	70.8
11	0452-121-38	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	5
12	0452-121-39	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	12.6
13	0452-121-48	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	33.3
14	0452-121-52	Gloria Kim, Trustee of the Young S. Kim Revocable Living Trust 12600 Brookhurst Street, #101, Garden Grove, CA 92840	LV/AG	10.2
		Anna Adelson 16349 Meadowridge Road Encino, CA 91436-3606 Doreen Inzalaco 1352 Ethel Street Glendale, CA 91207 Christine Towers 34312 N. Haverton Drive Gurnee, IL 60031	LV/AG	
15	0452-391-08	Anna Adelson 16349 Meadowridge Road Encino, CA 91436-3606 Doreen Inzalaco 1352 Ethel Street Glendale, CA 91207 Christine Towers 34312 N. Haverton Drive Gurnee, IL 60031	LV/AG	80
		Xian Ping Zhang 15542 Starview Street, Lake Elsinore, CA 92530	LV/RL-5	80.7
16	0452-391-09	The Ostrow Company c/o Adam Matye 8660 Burton Way #B, Los Angeles, CA 90048	LV/RL-5	161.3
17	0452-361-46	Feliciano and Emerenciana G. Dalugdugan 621 Augustina Place, Chula Vista, CA 92010	LV/AG	73.5
18	0452-361-47	Mopal Corporation and Jacque P Montero 41841 Garstin Drive, Big Bear Lake, CA 92315	LV/AG	64.7
19	0452-371-01	Mopal Corporation and Jacque P Montero 41841 Garstin Drive, Big Bear Lake, CA 92315	LV/AG	8.8
20	0452-112-19	Jaime T. Garcia 16632 Chicago Ave., Bellflower, CA 90706	LV/AG	151.4
21	0452-113-17	Jacob J. & Eleanor I. Fix Co-Trustees, Fix FT 3115 W. Teranimator Drive, Anaheim, CA 92804-3828 Alfred Fix Trustee, Alfred Fix FT 6032 Larchwood Drive Huntington Beach, CA 92647-2303 Margaret A. Cantrell Trustee, Margaret A. Cantrell FT 14262 Uxbridge Street, Westminster, CA 92683-4138 Christopher L. Cantrell Trustee, Christopher L. Cantrell FT 350 Las Riendas Drive, Fullerton, CA 92835	LV/AG	40.2
22	0452-071-25	15551 Ashley Ave. , Westminster, CA 92683 Hai Van Nguyen 633 Eagle View Circle, Tallahassee, FL 32311 Yen Hong Nguyen 14542 Golders Green Ln., Westminster, CA 93683 Vivian Ngo	LV/AG	80.4
23	0452-071-10	Chun Soo Ahn & Wha Ja Ahn PO Box 45, Apple Valley, CA 92307 Katherine Ahn Wallace, DDS 11121 Los Alamitos Blvd., Ste. 203, Los Alamitos, CA 90720 David Ahn & Anne Kim 3915 La Cresta Way, Bonita, CA 91902	LV/AG	103.4
24	0452-112-25	Nicole H.M. Jussek Sutton 25 Mount Pleasant Square Ranelagh Dublin 6 D06 FC94	LV/AG	40.2





REVIZIONS:	
DATE	COMMENT
04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

## OTES:

CONRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.

INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.

PERIMETER ROADS AND INTERNAL ACCESS ROADS TO BE UTILIZED AS FIRE TRUCK ACCESS ROADS.

ALL PORTIONS OF PV ARRAY SHALL BE WITHIN 300FT FROM ACCESS ROAD (EITHER PERIMETER OR INTERNAL ACCESS ROADS). DEAD END INTERNAL ROADS SHALL NOT EXCEED 150FT IN LENGTH.

DRIVEWAY LOCATION PRELIMINARY AND SUBJECT TO CHANGE. ALL DRIVEWAY DESIGN TO ABIDE BY DETAIL NO. 130, DETAIL NO. 129C, AND DETAIL NO. 9. VEHICLES EXITING THE SITE SHALL NOT BACK OUT OF DRIVE WAY ENTRANCES.

18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

## LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	15FT INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

# SIENNA SOLAR PROJECT

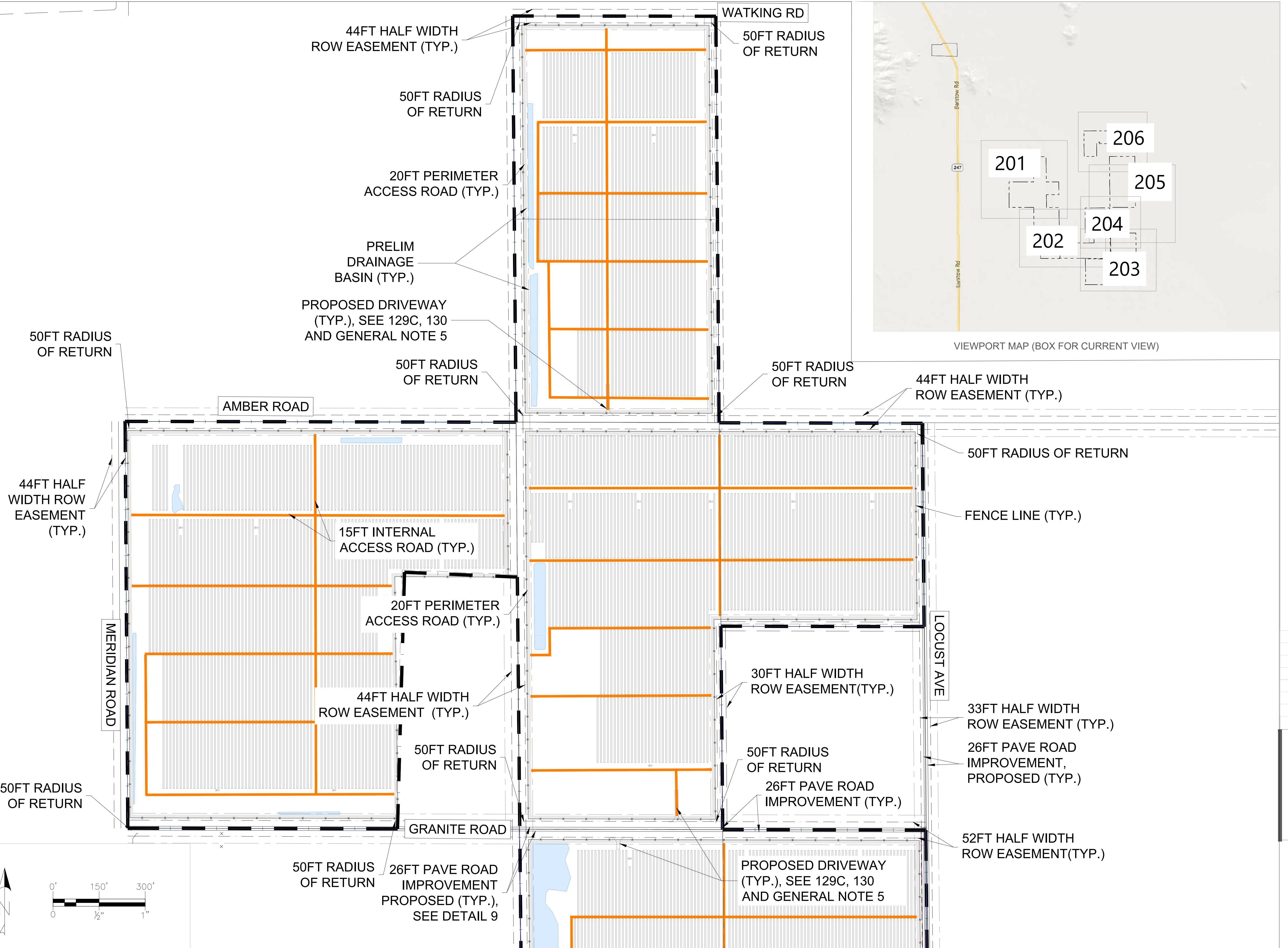
## LUCERNE VALLEY, CA

33850 GRANITE RD, LUCERNE VALLEY  
CA 92356 UNITED STATES

## PV ENLARGED PLAN VIEW

DATE: October 8, 2025

SHEET: C201



REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

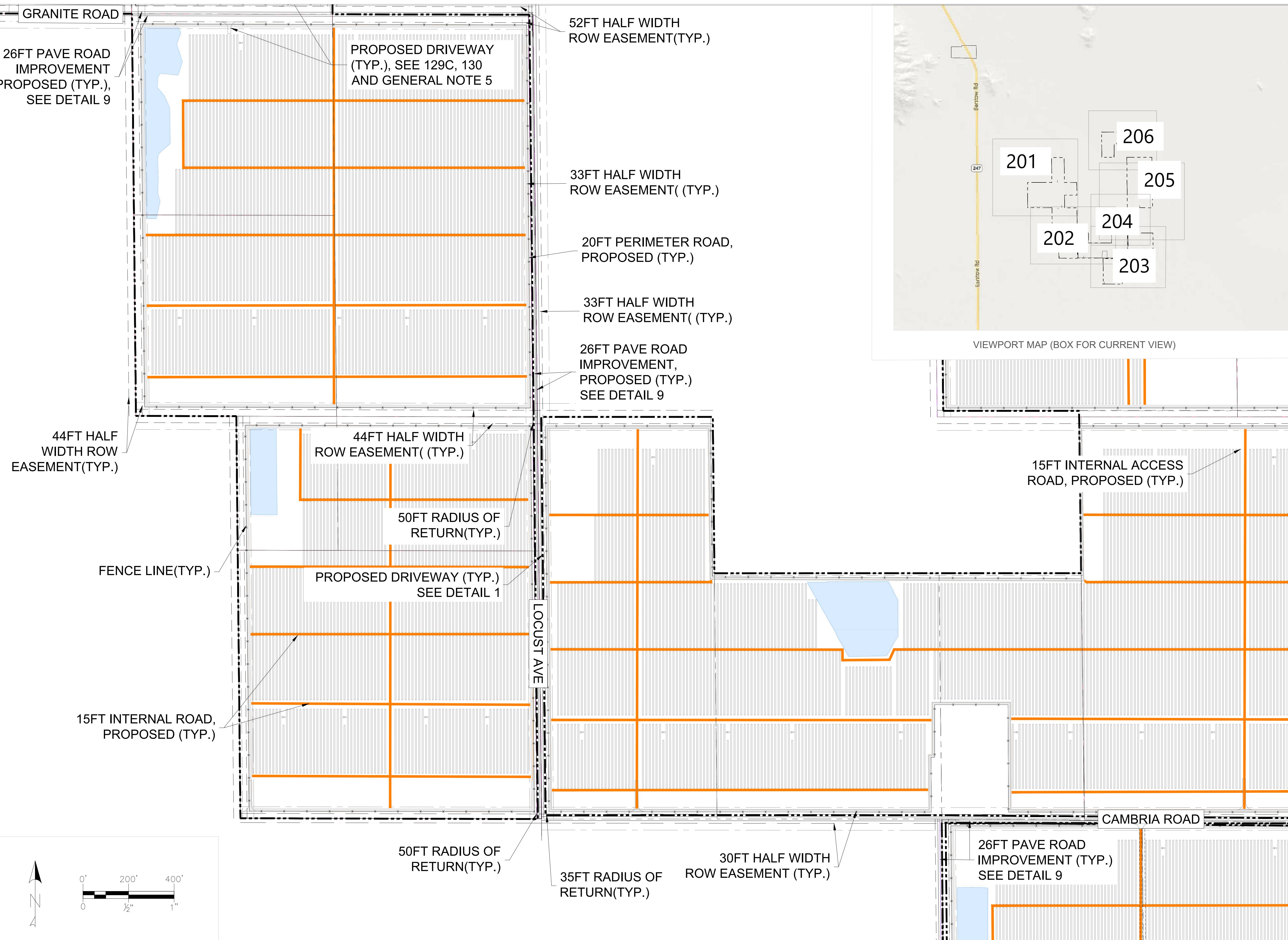
NOTES:

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6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND	
—	PROJECT BOUNDARY
—	PROPERTY LINE
—	SETBACKS AND EASEMENTS
—	FENCE LINE
—	INTERNAL ACCESS ROAD
—	20FT PERIMETER ACCESS ROAD

**SIENNA SOLAR PROJECT**  
LUCERNE VALLEY, CA  
33850 GRANITE RD, LUCERNE VALLEY CA 92356 UNITED STATES

**PV ENLARGED PLAN VIEW**  
DATE: October 8, 2025  
SHEET: C202



REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

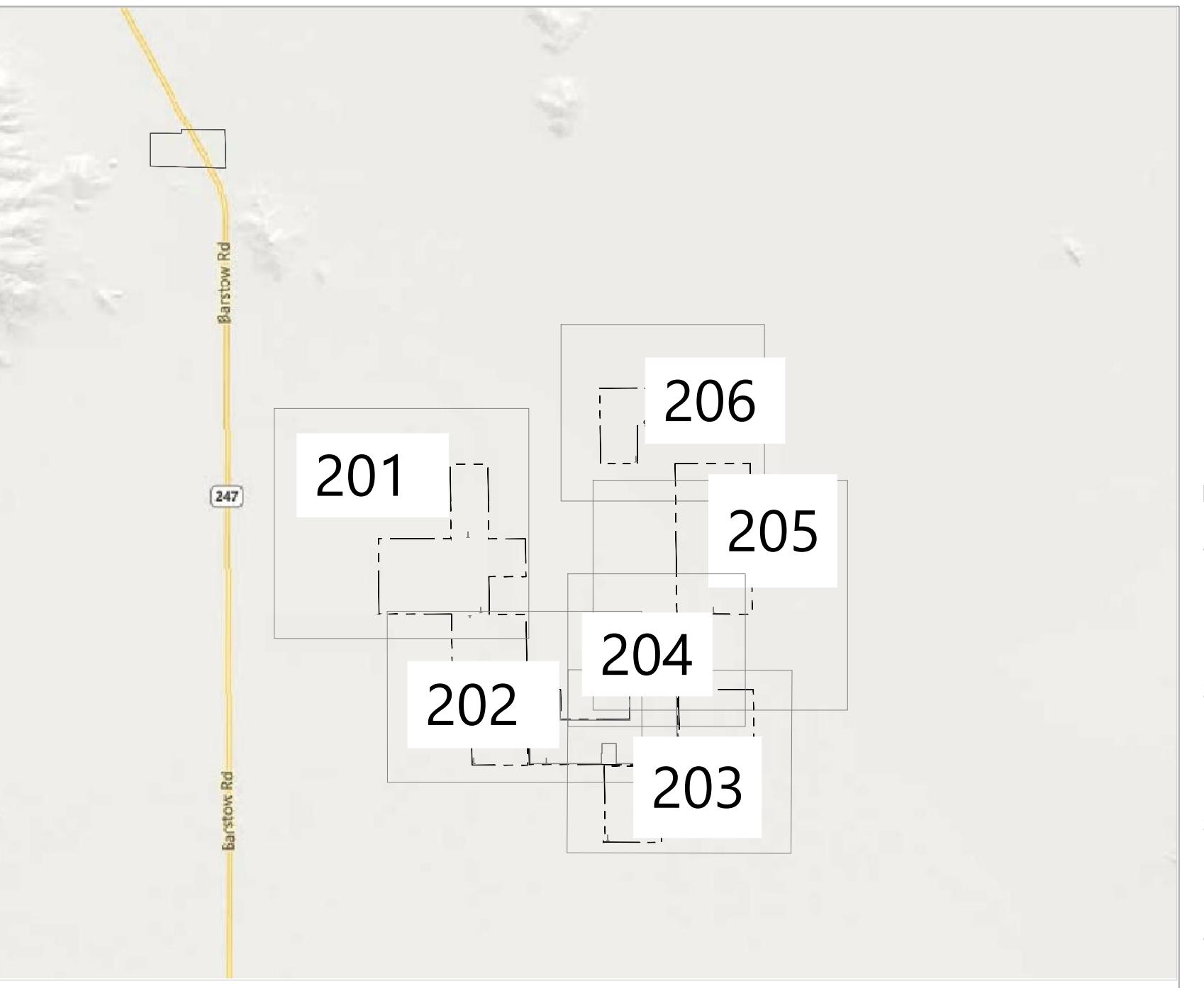
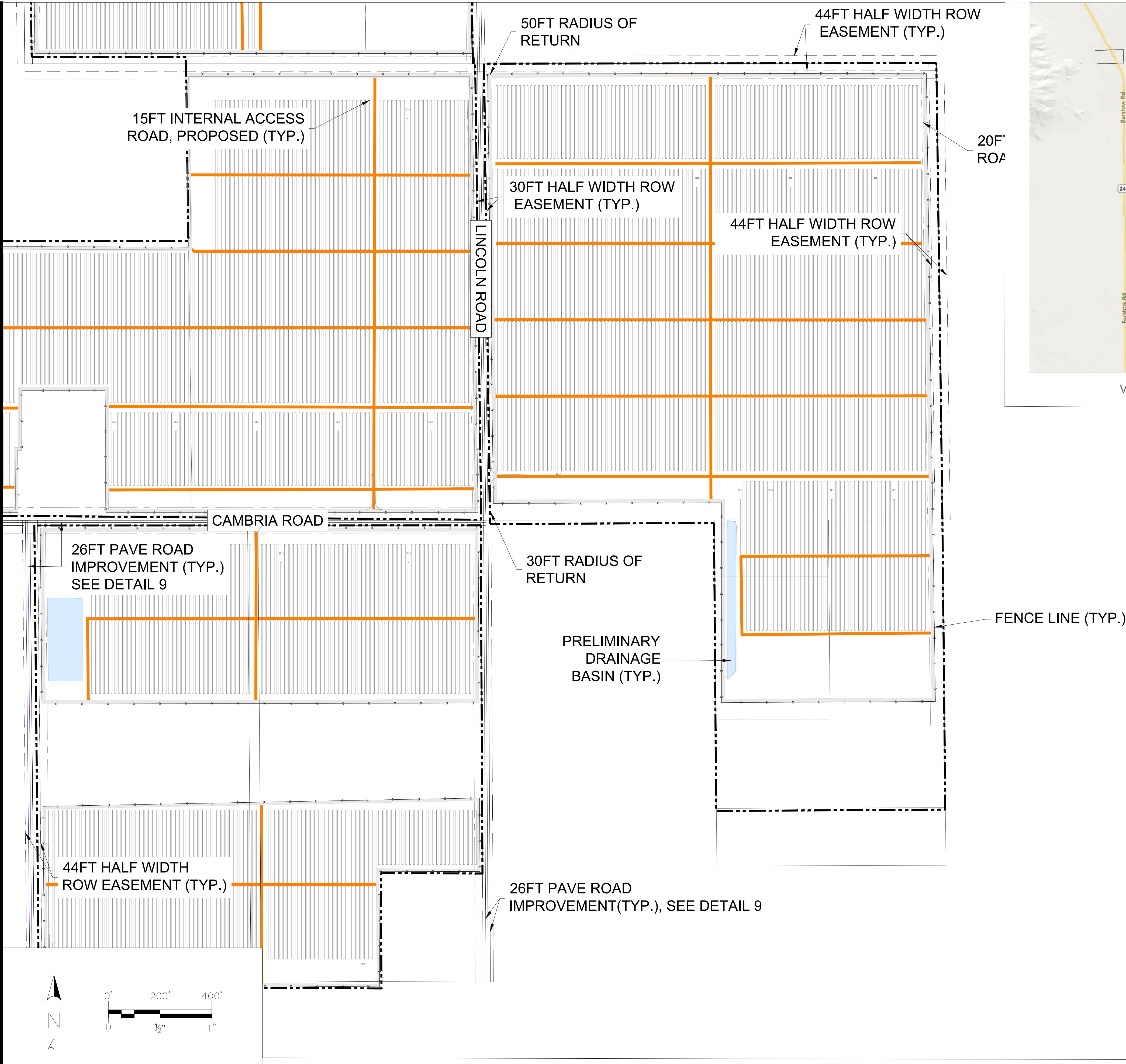
NOTES:

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6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

LEGEND	
	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

**SIENNA SOLAR  
PROJECT**  
LUCERNE VALLEY, CA  
33850 GRANITE RD, LUCERNE VALLEY  
CA 92356 UNITED STATES

**PV ENLARGED PLAN VIEW**  
DATE: October 8, 2025  
SHEET: C203



VISIONS:	
DATE	COMMENT
04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

## NOTES:

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6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.

## LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE
	SETBACKS AND EASEMENTS
	FENCE LINE
	INTERNAL ACCESS ROAD
	20FT PERIMETER ACCESS ROAD

# SIENNA SOLAR PROJECT

# LUCERNE VALLEY, CA

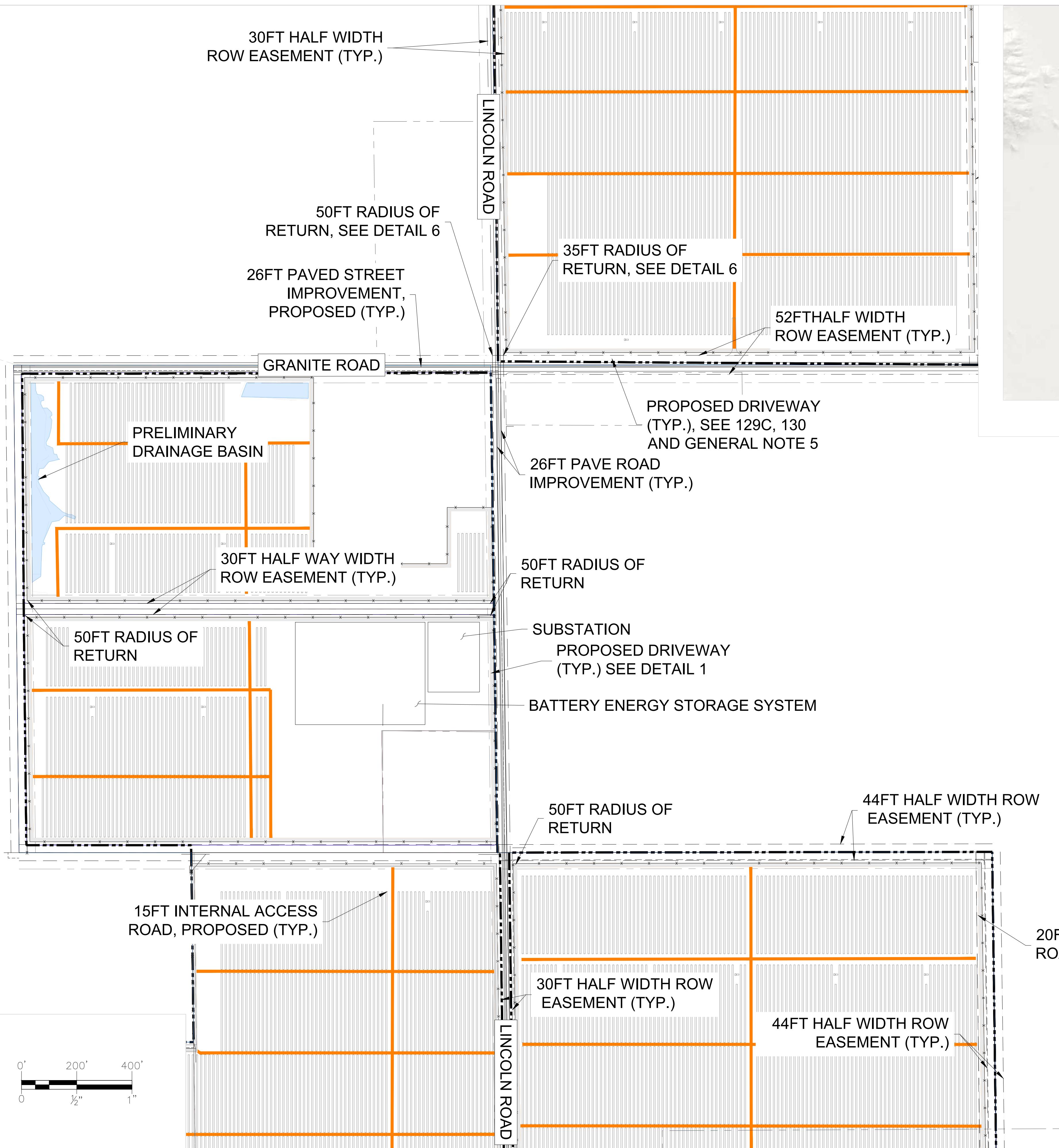
33850 GRANITE RD, LUCERNE VALLEY

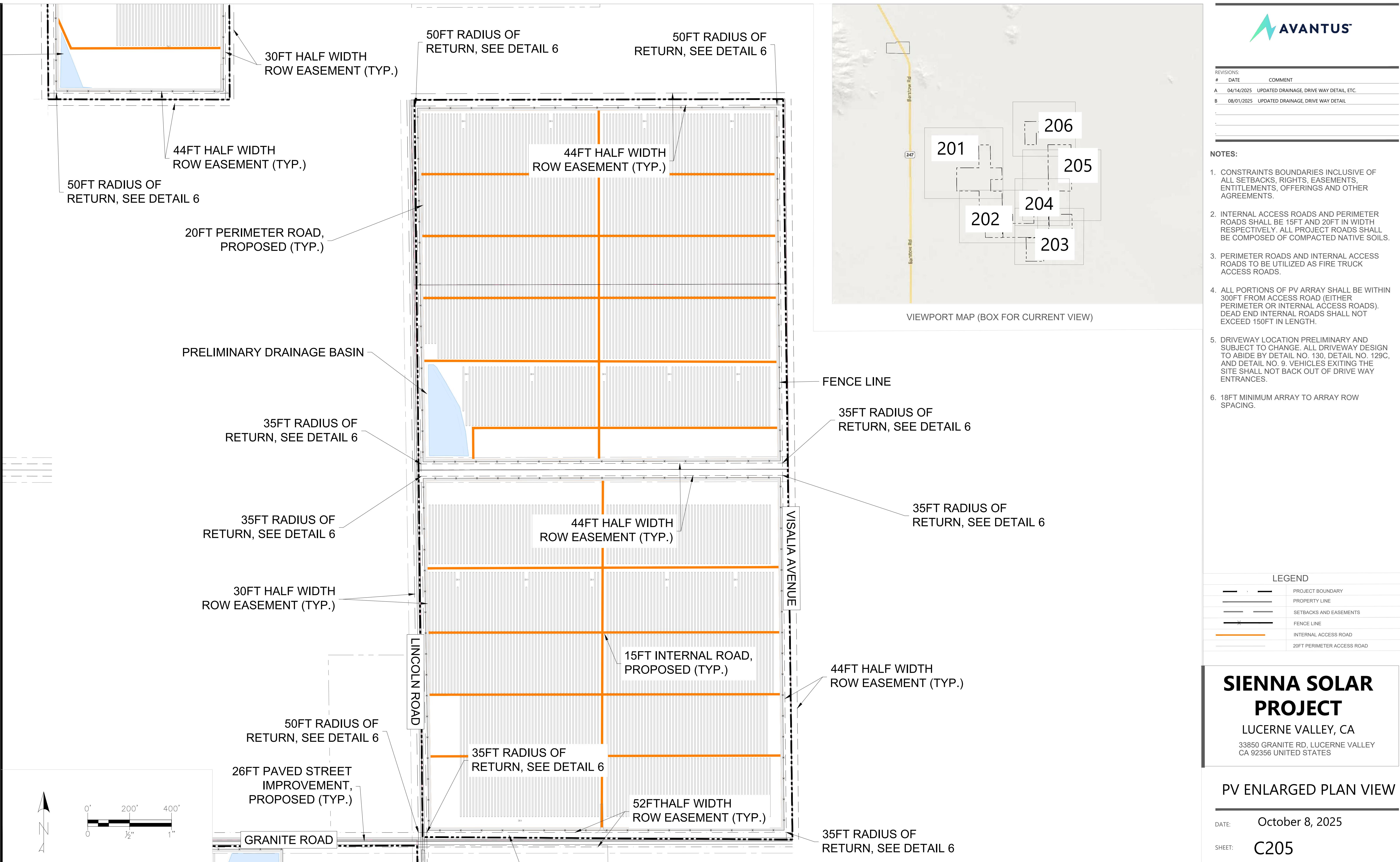
## PV FNI ARGED PLAN VIEW

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DATE: October 8, 2025

SHEET: C204

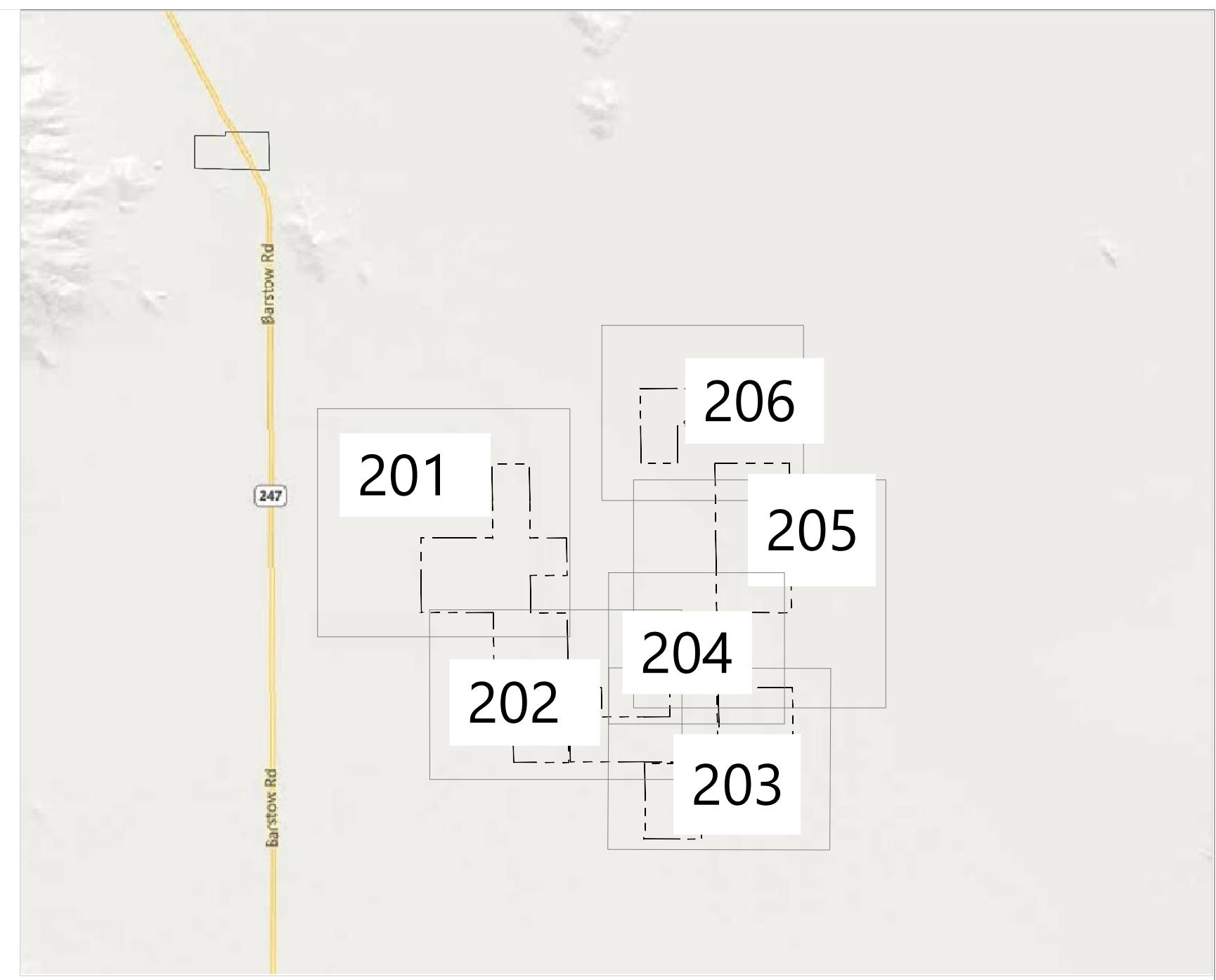
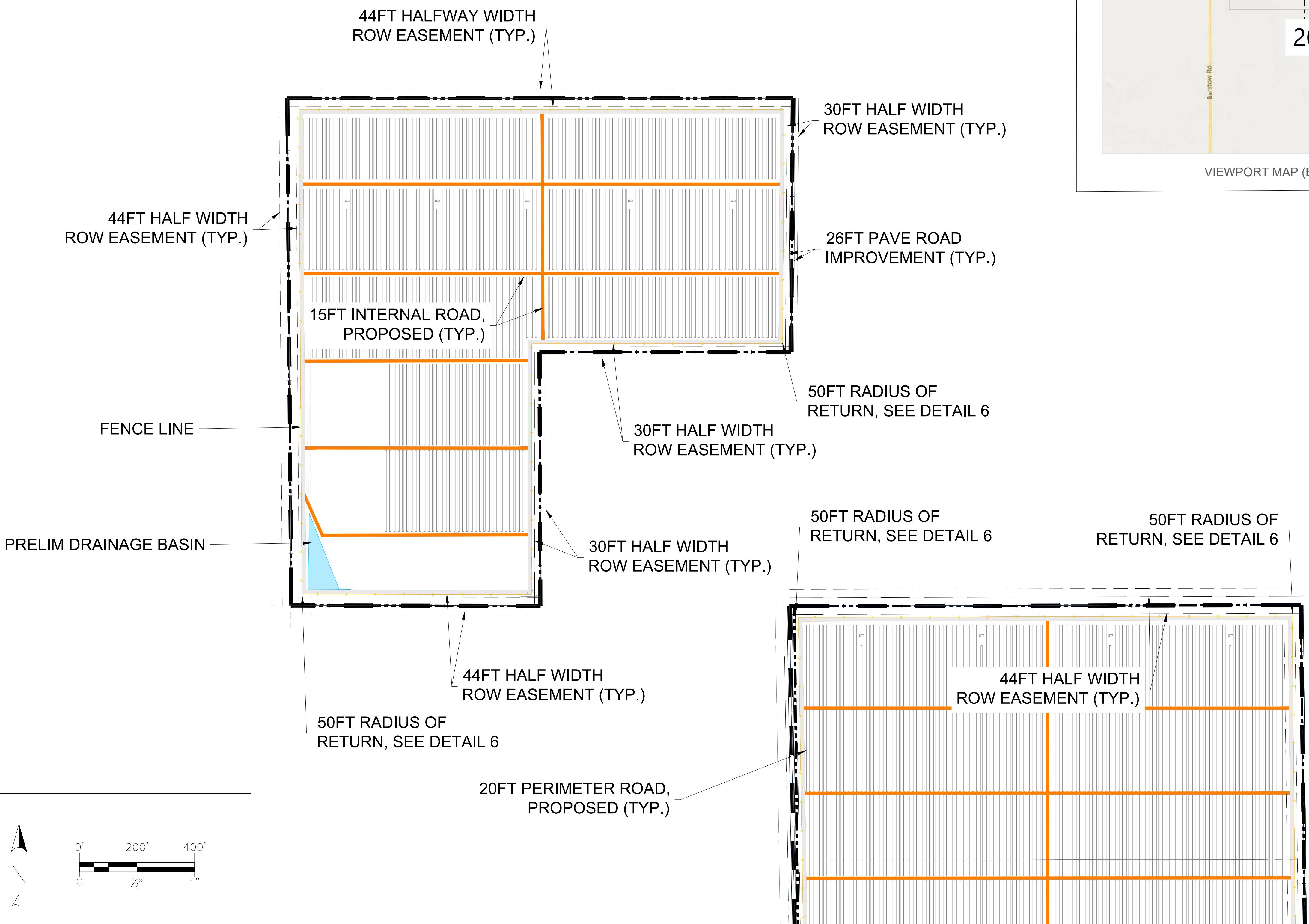




REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL
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**NOTES:**

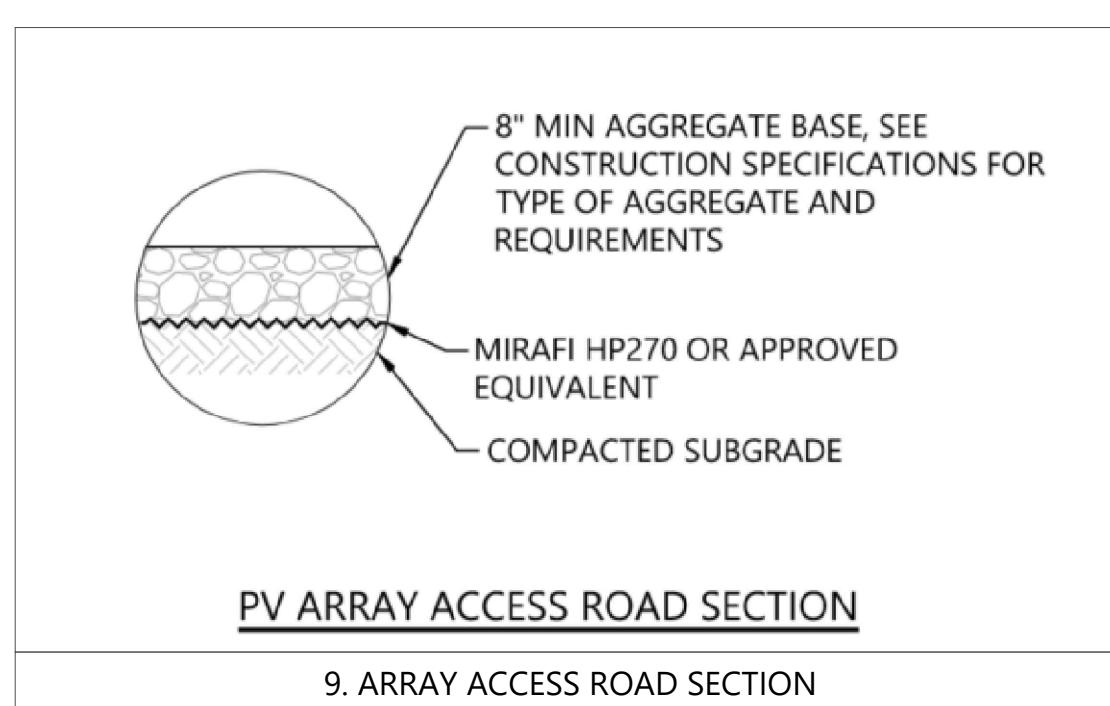
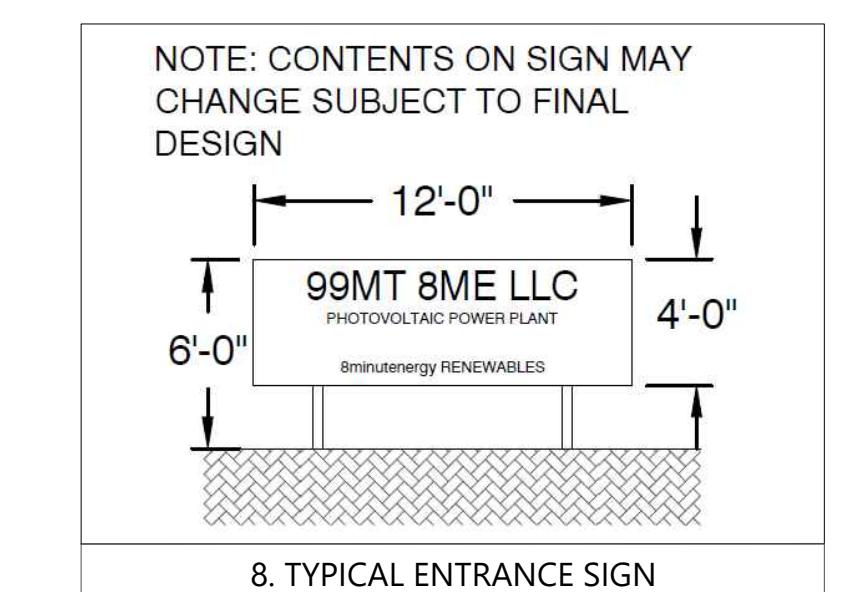
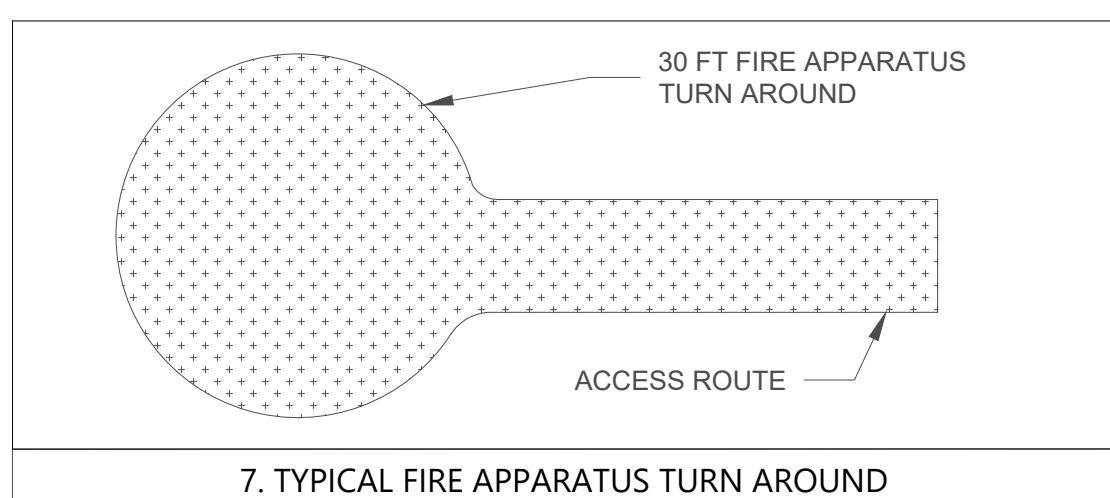
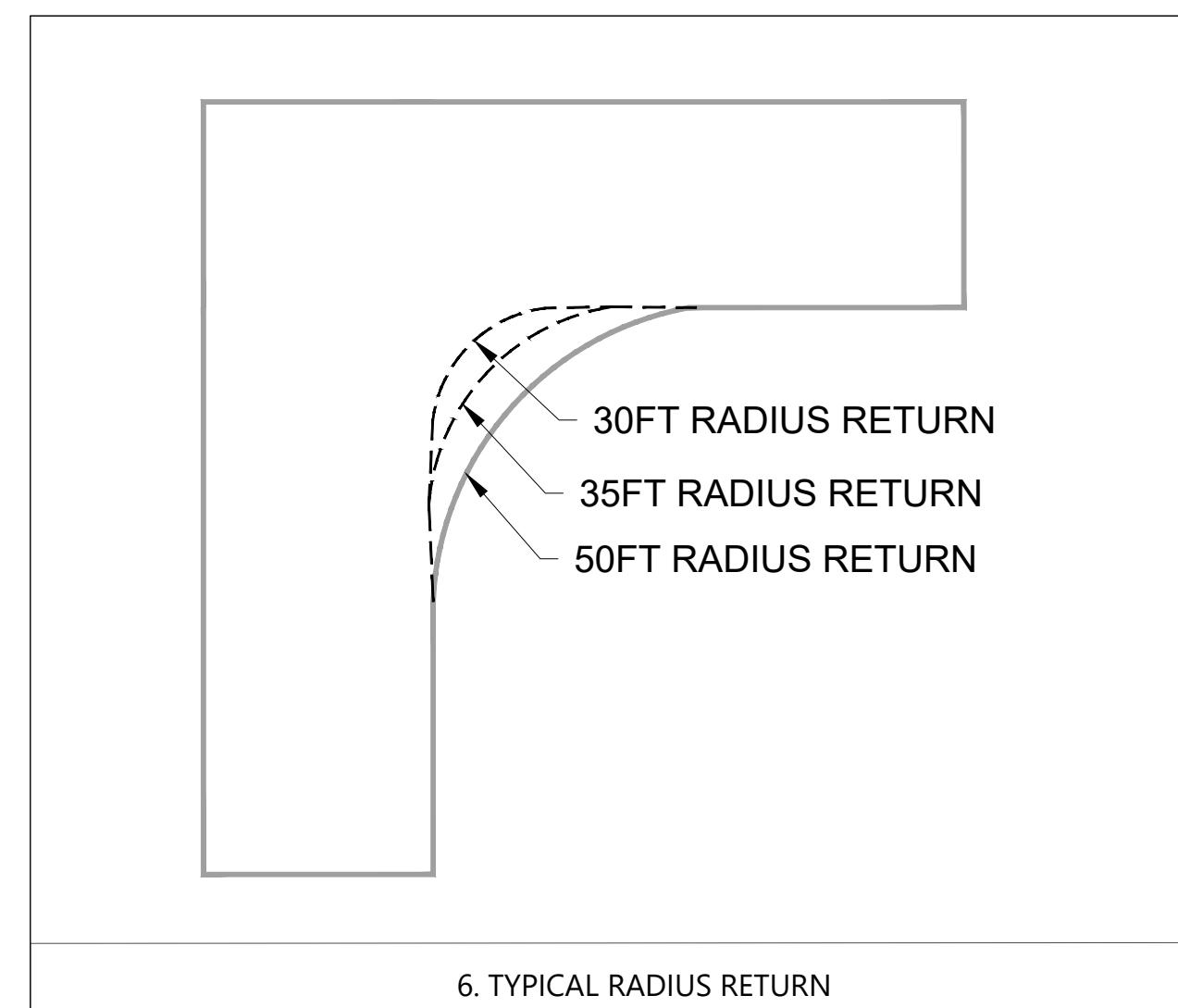
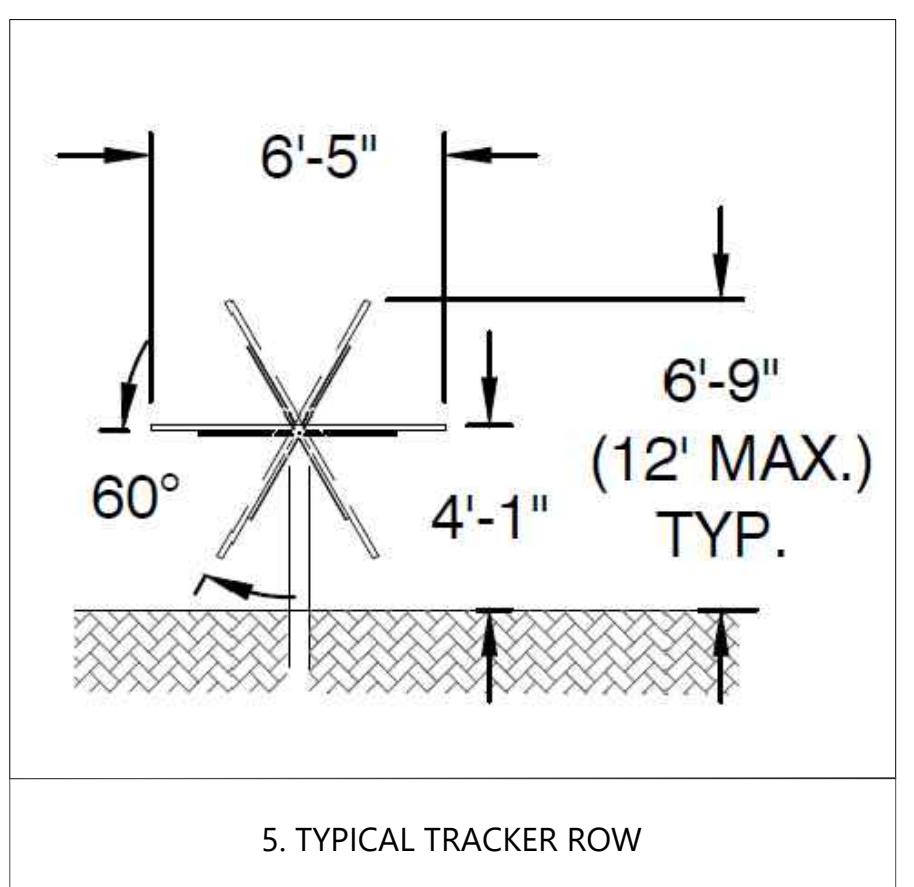
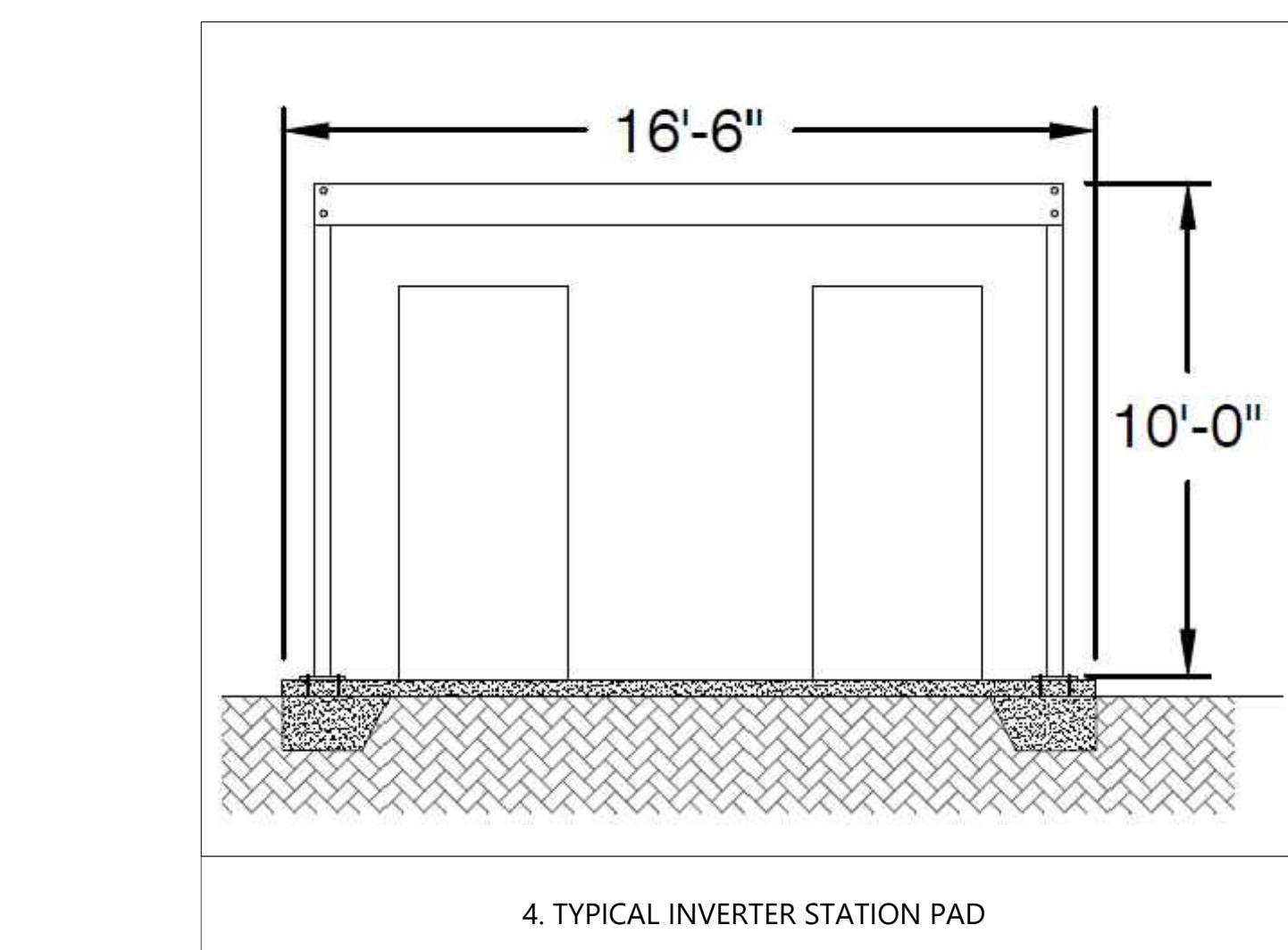
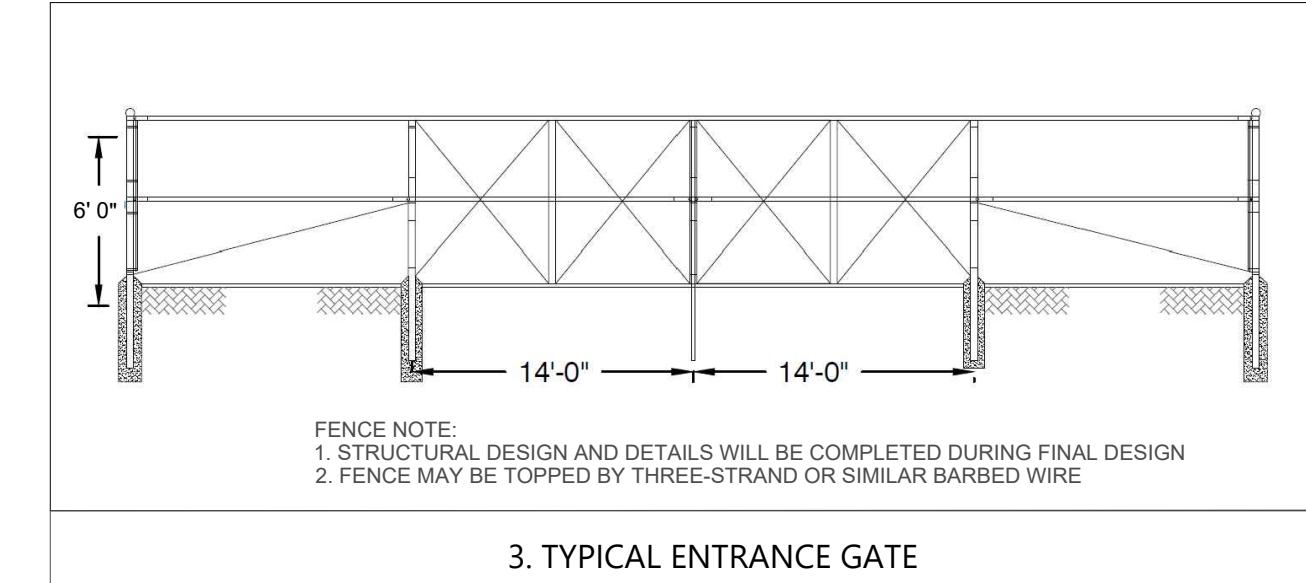
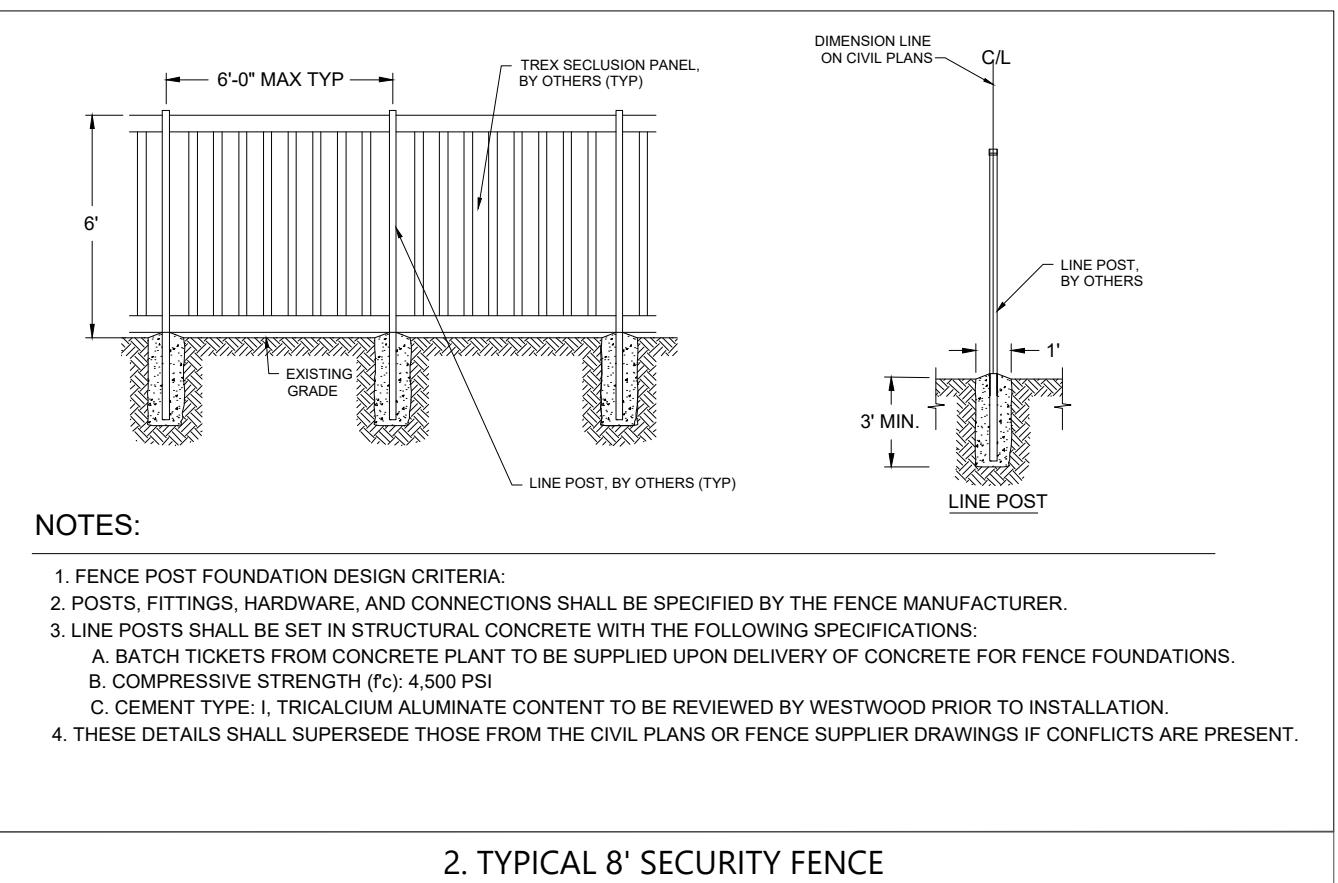
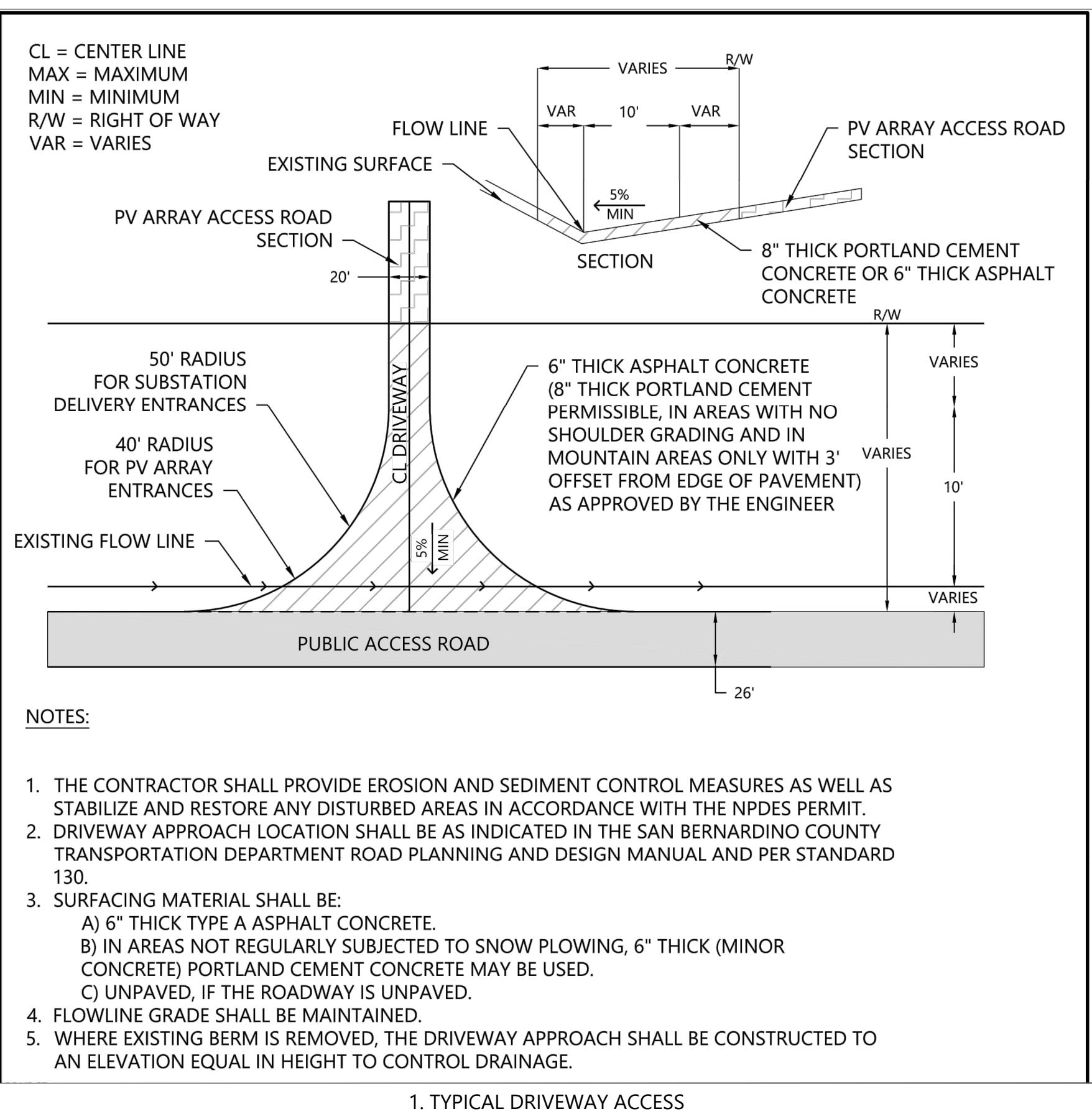
1. CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
2. INTERNAL ACCESS ROADS AND PERIMETER ROADS SHALL BE 15FT AND 20FT IN WIDTH RESPECTIVELY. ALL PROJECT ROADS SHALL BE COMPOSED OF COMPACTED NATIVE SOILS.
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6. 18FT MINIMUM ARRAY TO ARRAY ROW SPACING.


**VIEWPORT MAP (BOX FOR CURRENT VIEW)**


REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

**NOTES:**

- CONSTRAINTS BOUNDARIES INCLUSIVE OF ALL SETBACKS, RIGHTS, EASEMENTS, ENTITLEMENTS, OFFERINGS AND OTHER AGREEMENTS.
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**SIENNA SOLAR PROJECT**  
LUCERNE VALLEY, CA  
33850 GRANITE RD, LUCERNE VALLEY CA 92356 UNITED STATES

## DETAIL OVERVIEW

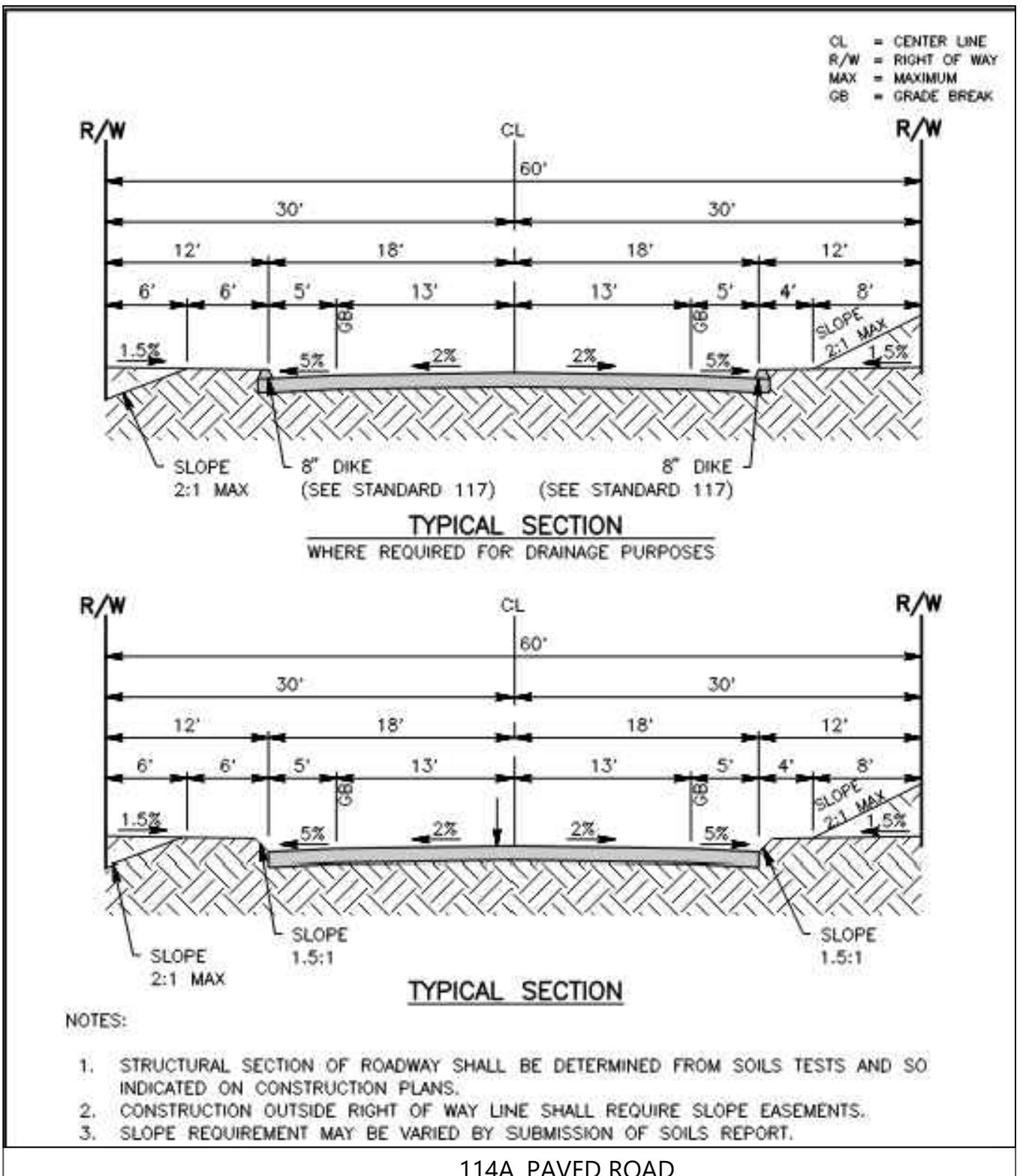
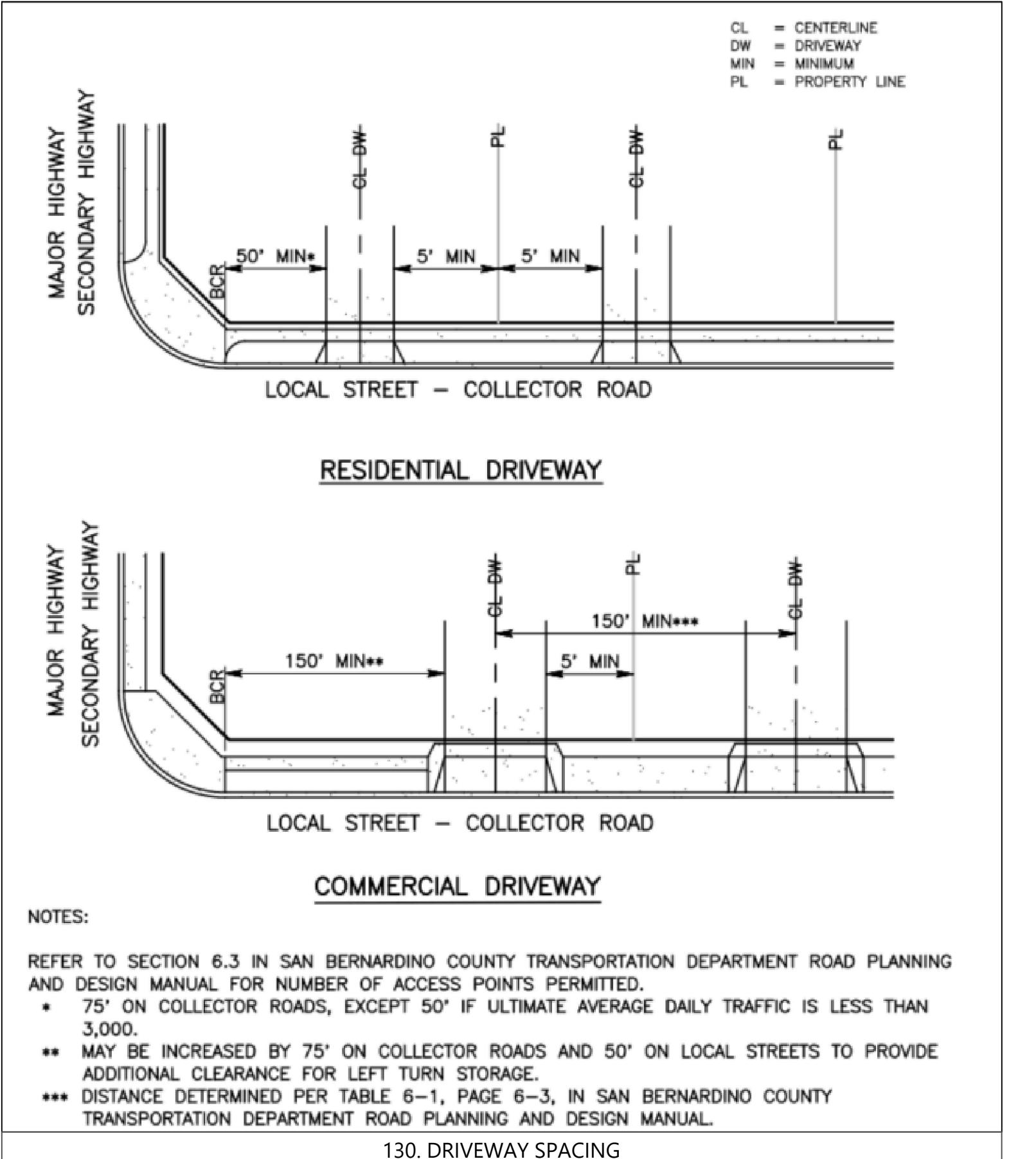
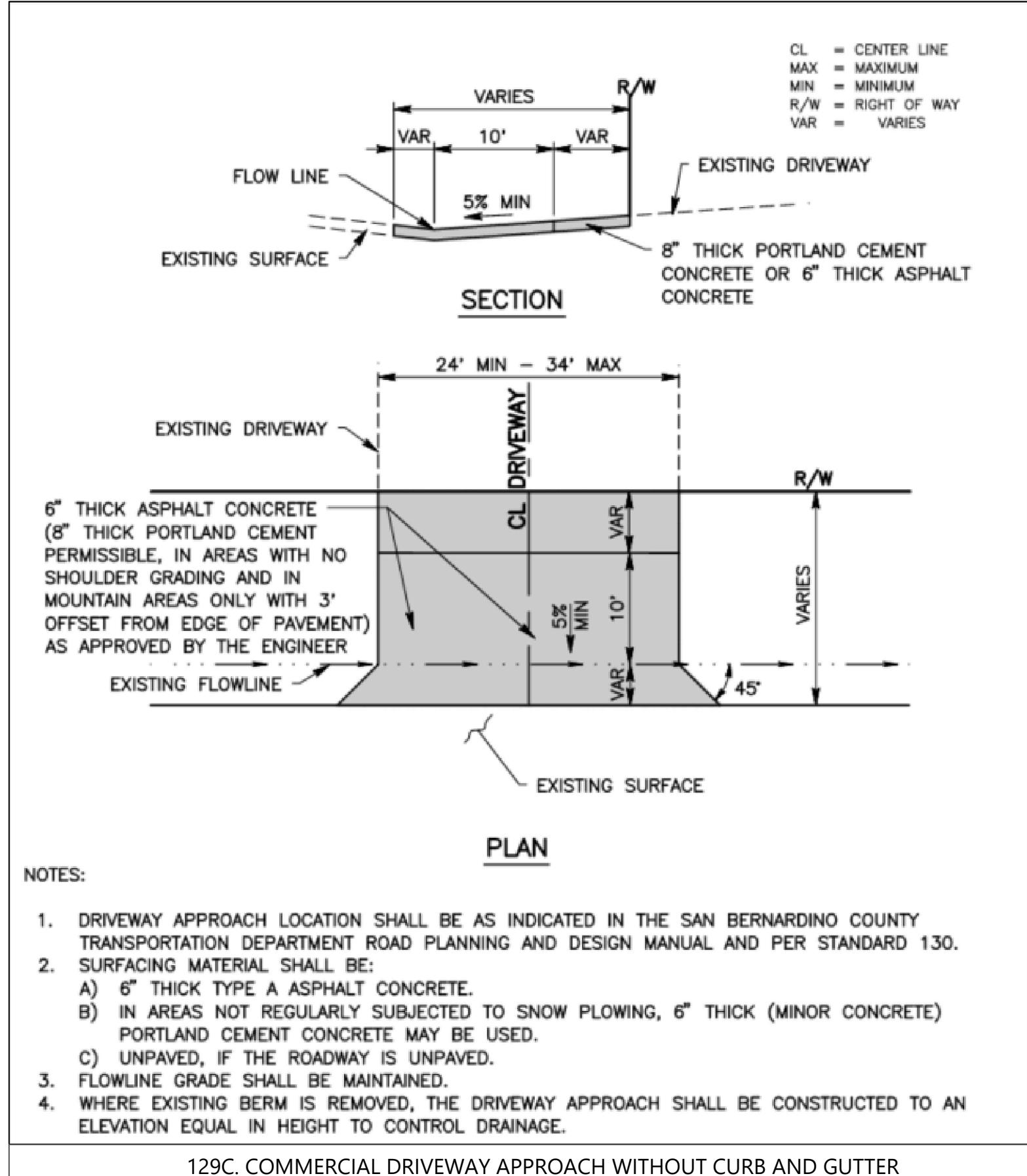
DATE: September 25, 2025

SHEET: C207

REVISIONS:		
#	DATE	COMMENT
A	04/14/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL, ETC.
B	08/01/2025	UPDATED DRAINAGE, DRIVE WAY DETAIL

**NOTES:**

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**SIENNA SOLAR PROJECT**  
LUCERNE VALLEY, CA  
33850 GRANITE RD, LUCERNE VALLEY  
CA 92356 UNITED STATES

**DETAIL OVERVIEW**

DATE: September 26, 2025

SHEET: C208