TI.I - TITLE SHEET

C-I - GRADING PLAN - GROUP TENT CAMPGROUND

C-2 - GRADING PLAN - RV CAMPGROUND

<u>ARCHITECTURAL</u>

ALO - SITE PLANS - GROUP TENT CAMPGROUND

- SITE PLANS & DETAILS - RV CAMPGROUND

Al.2 - SITE DETAILS

AI.3 - PICNIC SHELTER

AI.4 - PICNIC SHELTER AI.5 - PICNIC SHELTER

A2.0 - PREFABRICATED RR/SHOWER BUILDING

A2.1 - PREFABRICATED RR/SHOWER BUILDING

ELECTRICAL

E-O.I - ELECTRICAL LEGENDS & NOTES E-0.2 - RV SITE SINGLE LINE DIAGRAM

E-0.3 - TENT CAMP SINGLE LINE DIAGRAM

E-I.OI - OVERALL PROJECT ELECTRICAL SITE PLAN

E-2.01 - RV ELECTRICAL DEMOLITION AND REMODEL SITE PLANS E-3,0I - TENT CAMP ELECTRICAL REMODEL PLAN

E-4.01 - ELECTRICAL DETAILS

COUNTY OF SAN BERNARDINO

YUCAIPA REGIONAL PARK RV & GROUP TENT CAMPGROUNDS ADA UPGRADES

PROJECT # 1010-1089

33900 OAK GLEN ROAD YUCAIPA, CA 92399

SHEET INDEX

- GENERAL CONTRACTOR SHALL PROVIDE SECURITY/TEMPORATY FENCING FOR DURATION OF THE PROJECT AS REQUIRED AT NO ADDITIONAL COST TO OWNER FOR BOTH SITES,
- GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ANY REQUIRED SURVEY WORK BY A LICENSED CALIFORNIA SURVEYOR FOR BOTH SITES.
- 3. OWNER FURNISHED PREFABRICATED RESTROOM/SHOWER BUILDING. CONTRACTOR SHALL PERFORM THE FOLLOWING FOR BOTH SITES:
 - PREPARE THE SITE / BUILDING PAD TO ACCEPT THE BUILDING PER CIVIL DRAWING.

COORDINATE WITH OWNER & MANUFACTURER FOR ACCEPTANCE OF BUILDING, INCLUDING OFF-LAODING & BUILDING PLACEMENT.

- PROVIDE ALL UTILITY CONNECTIONS AS REQUIRED (WATER, SEWER & ELECTRICAL) PER REFERENCE DRAWINGS.
- 4. BIDDING INSTRUCTIONS:
 - BASE BID: EVERYTHING SHOWN IN PLANS EXCEPT ADDITIVE
 - ALTERNATE #1 SEE PLANS.
 - ADDITIVE ALTERNATE #1 BID: PICNIC SHELTER, CONC. PAD, PICNIC TABLES, CONC. SIDEWALK EAST OF NEW RESTROOM/SHOWER BUILDING TO PICNIC SHELTER & BBQ GRILLES AT GROUP TENT CAMPGROUND AREA.



<u>OWNER</u>

COUNTY OF SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT 385 N. ARROWHEAD AVE., THIRD FLOOR SAN BERNARDINO, CA 92415 PHONE: (909) 708-6463

ARCHITECTURAL

STK ARCHITECTURE, INC. TONY FINALDI, ARCHITECT 42095 ZEVO DR., SUITE AIS TEMECULA, CA 92590 FAX: (951) 296-6079

ELECTRICAL ENGINEER

DESIGN WEST ENGINEERING ADRIAN JACQUEZ 1845 BUSINESS CENTER DR., SUITE 215 SAN BERNARDINO, CA 92408 PHONE: (909) 890-3700 FAX: (909) 890-3770

<u>CIVIL ENGINEER</u>

A.J. FRICK CIVIL ENGINEERING ARNIE FRICK 42095 ZEVO DR., SUITE AIS TEMECULA, CA 92590 PHONE: (951) 296-9110 FAX: (951) 296-6079

PROJECT TEAM



VICINITY MAP

ASSESSOR'S PARCEL NUMBERS: 030-3031-04

LIST OF APPLICABLE CODES

ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED: 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE)

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

(2018 UNIFORM MECHANICAL CODE)

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE)

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

2019 CALIFORNIA ENERGY CODE

AMERICANS WITH DISABILITIES ACT 1990 WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 2010 REVISIONS TO TITLE II

CONSULTANT:

PROJECT ADMINISTERED BY COUNTY OF

SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT -PROJECT MANAGEMENT DIVISION

385 N. ARROWHEAD AVE SAN BERNARDINO, CA 92415

PROJECT NAME:

YUCAIPA REGIONAL PARK **RV & GROUP TENT** CAMPGROUNDS ADA **UPGRADES**

PROJECT # 1010-1089

33900 OAK GLEN ROAD

YUCAIPA, CA 92399

ISSUE INFORMATION:

INFORMATION:

SHEET INFORMATION:

STK PROJECT NO.: 374-141-20 SEPTEMBER 2020 PLOT DATE: DRAWING NAME:

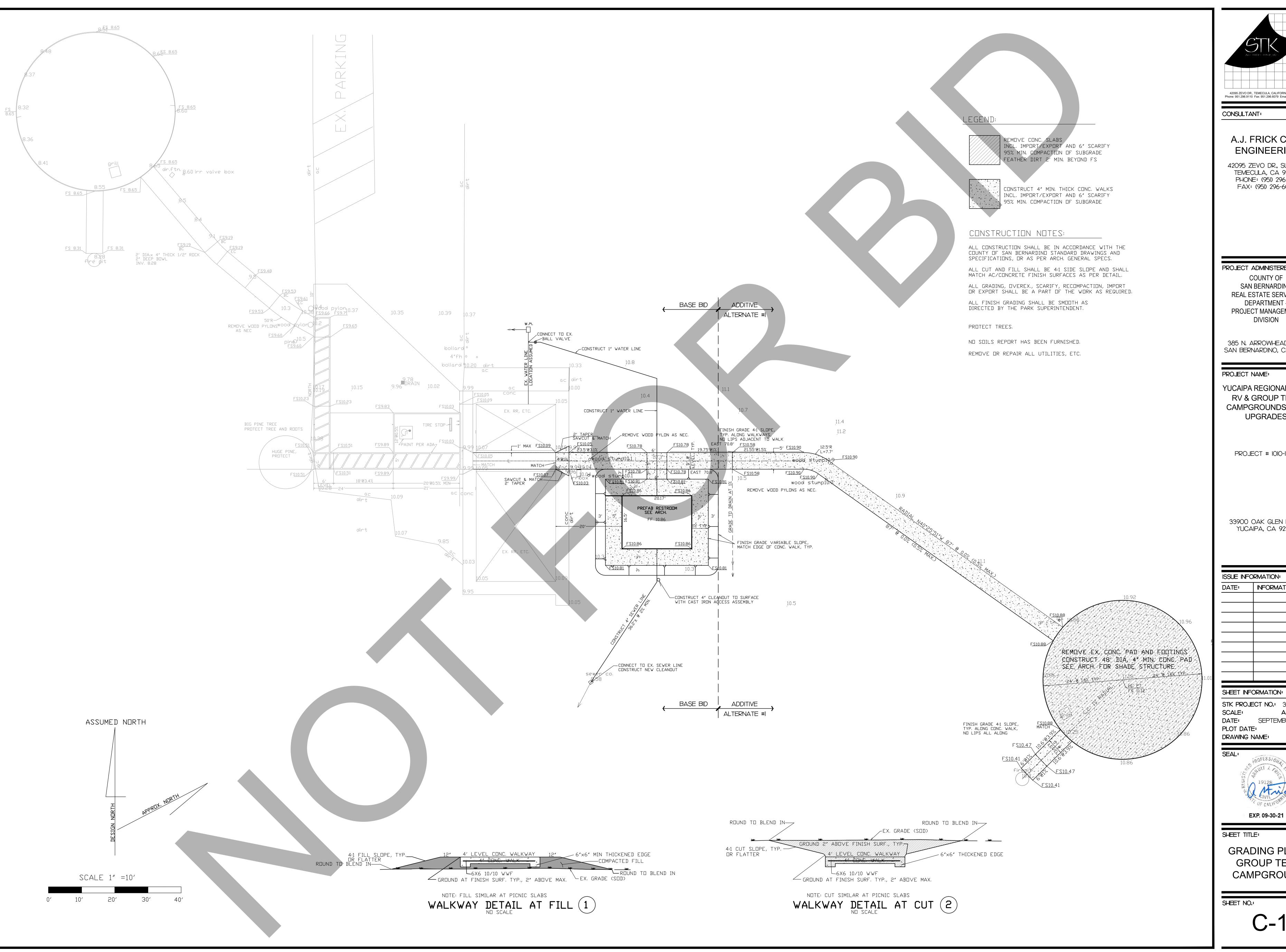


TITLE SHEET

NOTES TO GENERAL CONTRACTOR

REFERENCE SITE PLAN

CODE ANALYSIS





A.J. FRICK CIVIL **ENGINEERING**

42095 ZEVO DR., SUITE AI5 TEMECULA, CA 92590 PHONE: (951) 296-9110 FAX: (951) 296-6079

PROJECT ADMINISTERED BY: COUNTY OF SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT -PROJECT MANAGEMENT DIVISION

385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

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33900 OAK GLEN ROAD YUCAIPA, CA 92399

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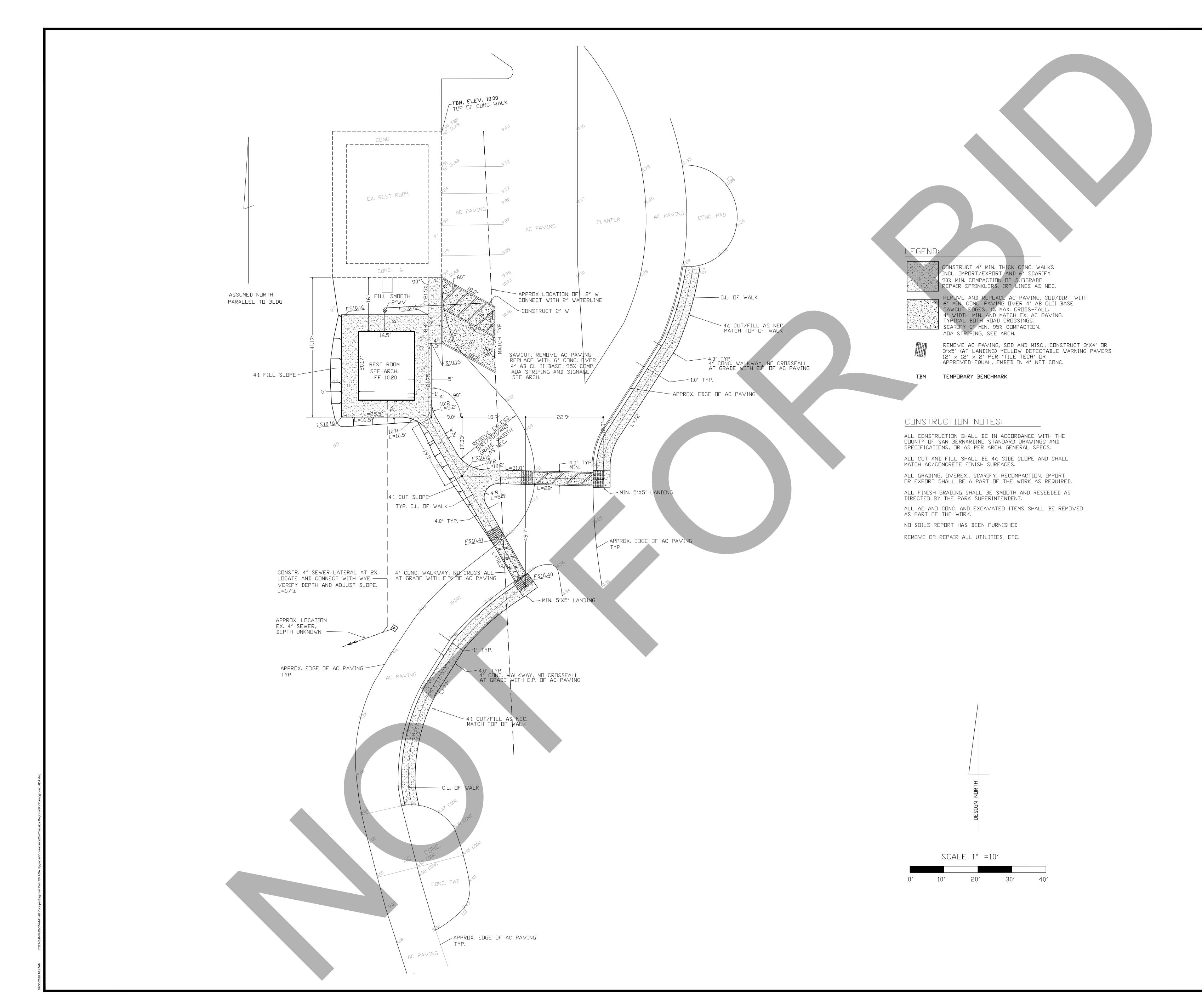
STK PROJECT NO.: 374-141-20 SEPTEMBER 2020

DRAWING NAME:



EXP. 09-30-21

GRADING PLAN -GROUP TENT CAMPGROUND





CONSULTANT:

A.J. FRICK CIVIL ENGINEERING

42095 ZEVO DR., SUITE AI5 TEMECULA, CA 92590 PHONE: (951) 296-9110 FAX: (951) 296-6079

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COUNTY OF SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT -PROJECT MANAGEMENT

DIVISION

385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

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YUCAIPA REGIONAL PARK: RV & GROUP TENT CAMPGROUNDS ADA UPGRADES

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33900 OAK GLEN ROAD YUCAIPA, CA 92399

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DATE:	INFORMATION:	

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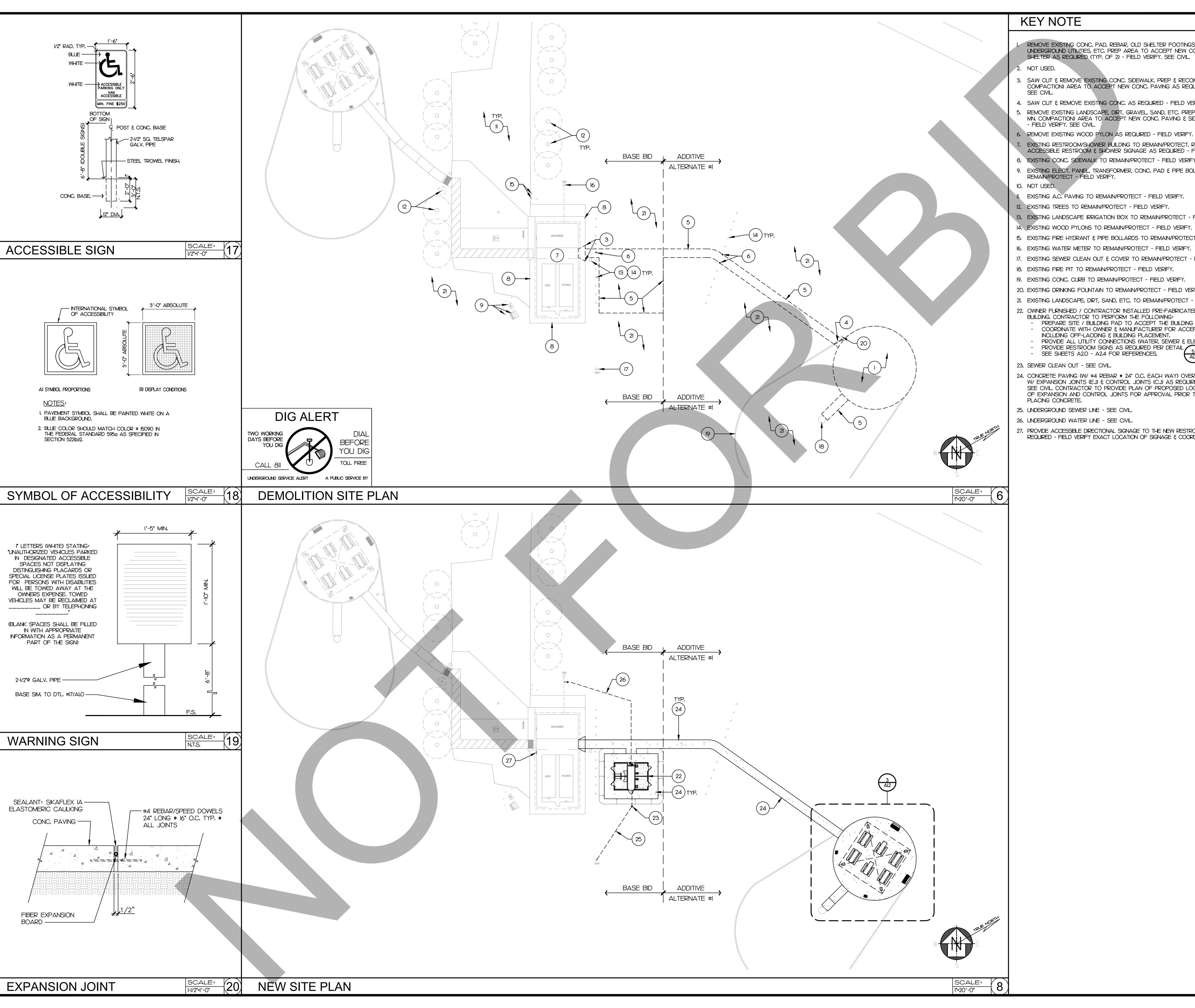
EXP. 09-30-21

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GRADING PLAN -RV CAMPGROUND

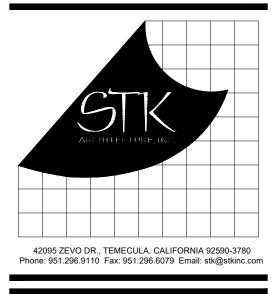
SHEET NO

C-2



KEY NOTE

- REMOVE EXISTING CONC. PAD, REBAR, OLD SHELTER FOOTINGS, BBQ GRILL, CAP UNDERGROUND UTILITIES, ETC. PREP AREA TO ACCEPT NEW CONC. PAD & PICNIC SHELTER AS REQUIRED (TYP. OF 2) - FIELD VERIFY, SEE CIVIL.
- SAW CUT & REMOVE EXISTING CONC. SIDEWALK. PREP & RECOMPACT (90% MN. COMPACTION) AREA TO ACCEPT NEW CONC. PAVING AS REQUIRED - FIELD VERIFY.
- 4. SAW CUT & REMOVE EXISTING CONC. AS REQUIRED FIELD VERIFY.
- REMOVE EXISTING LANDSCAPE, DIRT, GRAVEL, SAND, ETC. PREP & RECOMPACT (90%
- MN. COMPACTION) AREA TO ACCEPT NEW CONC. PAVING & SIDEWALK AS REQUIRED
- 6. REMOVE EXISTING WOOD PYLON AS REQUIRED FIELD VERIFY.
- 7. EXISTING RESTROOM/SHOWER BUILDING TO REMAIN/PROTECT. REMOVE ANY EXISTING ACCESSIBLE RESTROOM & SHOWER SIGNAGE AS REQUIRED - FIELD VERIFY.
- . EXISTING CONC. SIDEWALK TO REMAIN/PROTECT FIELD VERIFY. 9. EXISTING ELECT. PANEL, TRANSFORMER, CONC. PAD & PIPE BOLLARD TO
- REMAIN/PROTECT FIELD VERIFY.
- EXISTING A.C. PAVING TO REMAIN/PROTECT FIELD VERIFY.
- 12. EXISTING TREES TO REMAIN/PROTECT FIELD VERIFY.
- 13. EXISTING LANDSCAPE IRRIGATION BOX TO REMAIN/PROTECT FIELD VERIFY.
- 15. EXISTING FIRE HYDRANT & PIPE BOLLARDS TO REMAIN/PROTECT FIELD VERIFY.
- 16. EXISTING WATER METER TO REMAIN/PROTECT FIELD VERIFY.
- 17. EXISTING SEWER CLEAN OUT & COVER TO REMAIN/PROTECT FIELD VERIFY.
- 18. EXISTING FIRE PIT TO REMAIN/PROTECT FIELD VERIFY.
- 19. EXISTING CONC. CURB TO REMAIN/PROTECT FIELD VERIFY.
- 20. EXISTING DRINKING FOUNTAIN TO REMAIN/PROTECT FIELD VERIFY.
- 21. EXISTING LANDSCAPE, DIRT, SAND, ETC. TO REMAIN/PROTECT FIELD VERIFY.
- 22. OWNER FURNISHED / CONTRACTOR INSTALLED PRE-FABRICATED RESTROOM/SHOWER BUILDING, CONTRACTOR TO PERFORM THE FOLLOWING:
- PREPARE SITE / BUILDING PAD TO ACCEPT THE BUILDING PER CIVIL DRAWING. - COORDINATE WITH OWNER & MANUFACTURER FOR ACCEPTANCE OF BUILDING, INCLUDING OFF-LAODING & BUILDING PLACEMENT.
- PROVIDE ALL UTILITY CONNECTIONS (WATER, SEWER & ELECTRICAL). - PROVIDE RESTROOM SIGNS AS REQUIRED PER DETAIL
- SEE SHEETS A2.0 A2.4 FOR REFERENCES.
- 23, SEWER CLEAN OUT SEE CIVIL.
- 24. CONCRETE PAVING (W/ #4 REBAR 24" O.C. EACH WAY) OVER COMPACTED SOIL W/ EXPANSION JOINTS (E.J.) & CONTROL JOINTS (C.J.) AS REQUIRED - SEE SEE CIVIL, CONTRACTOR TO PROVIDE PLAN OF PROPOSED LOCATIONS OF EXPANSION AND CONTROL JOINTS FOR APPROVAL PRIOR TO PLACING CONCRETE.
- 25. UNDERGROUND SEWER LINE SEE CIVIL.
- 26. UNDERGROUND WATER LINE SEE CIVIL.
- 27. PROVIDE ACCESSIBLE DIRECTIONAL SIGNAGE TO THE NEW RESTROOMS & SHOWERS AS REQUIRED - FIELD VERIFY EXACT LOCATION OF SIGNAGE & COORDINATE W/ OWNER



CONSULTANT:

PROJECT ADMINISTERED BY: COUNTY OF SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT -PROJECT MANAGEMENT

385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

DIVISION

PROJECT NAME:

YUCAIPA REGIONAL PARK: **RV & GROUP TENT** CAMPGROUNDS ADA **UPGRADES**

PROJECT # 1010-1089

33900 OAK GLEN ROAD YUCAIPA, CA 92399

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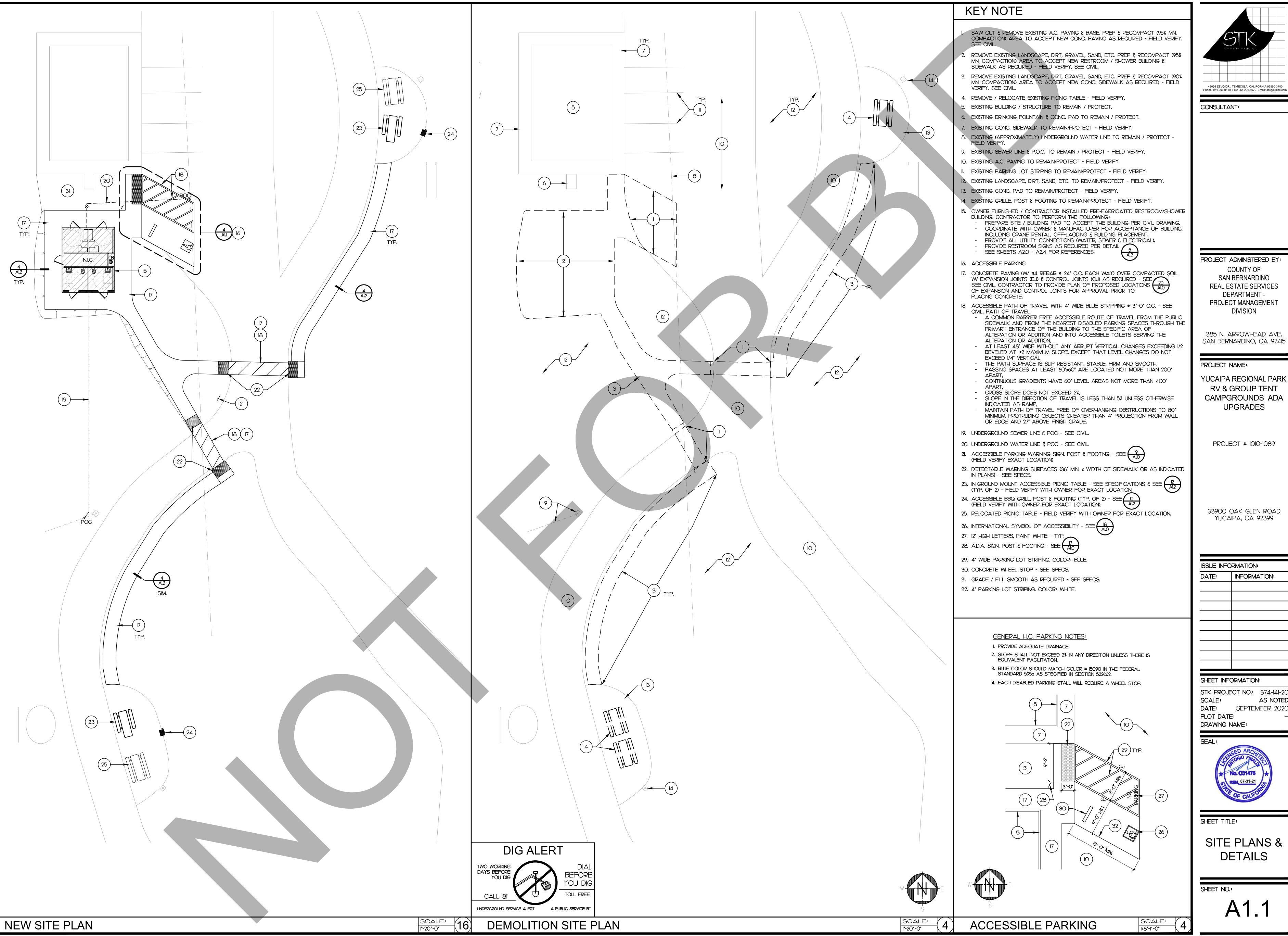
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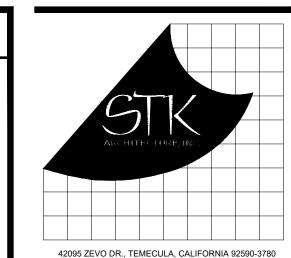
STK PROJECT NO.: 374-141-20 DATE: SEPTEMBER 2020 PLOT DATE:

DRAWING NAME:



SITE PLANS & DETAILS





CONSULTANT:

PROJECT ADMINISTERED BY:

COUNTY OF SAN BERNARDINO REAL ESTATE SERVICES DEPARTMENT -

385 N. ARROWHEAD AVE.

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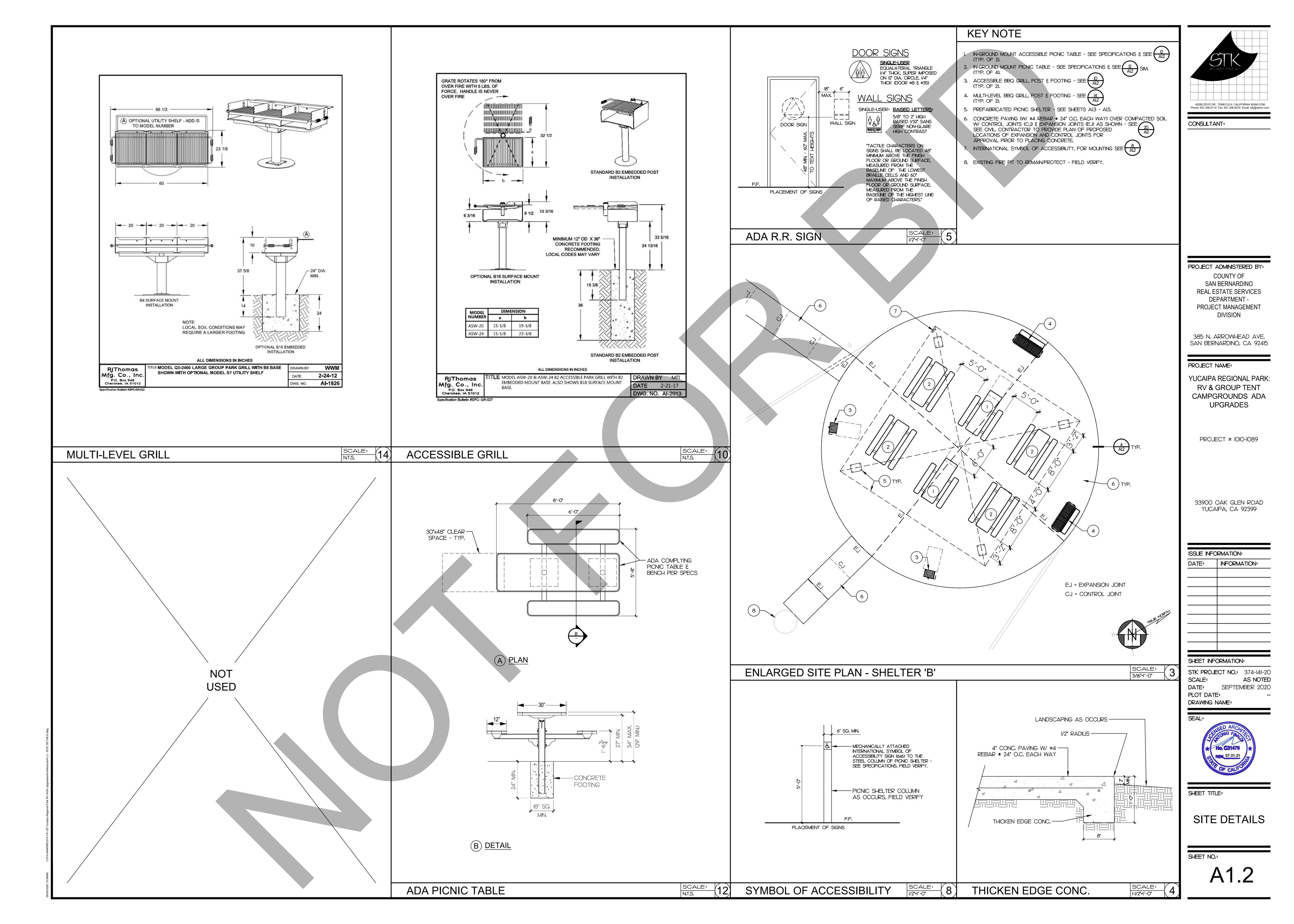
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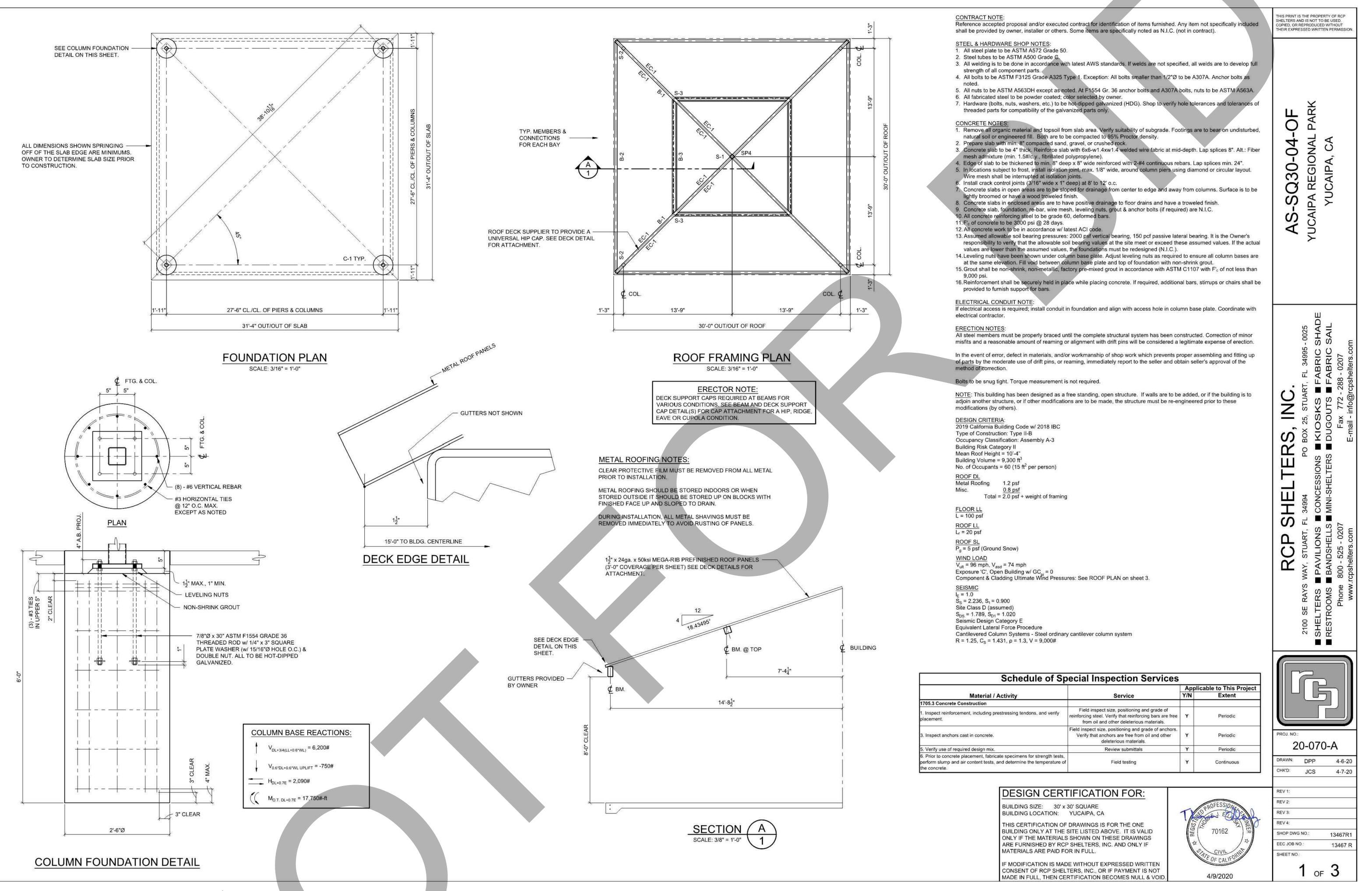
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SITE PLANS & **DETAILS**





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ARCHITECTURE, INC.

42095 ZEVO DR., TEMECULA, CALIFORNIA 92590-3780

CONSULTANT:

PROJECT ADMINISTERED BY:

COUNTY OF
SAN BERNARDINO
REAL ESTATE SERVICES
DEPARTMENT PROJECT MANAGEMENT
DIVISION

385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

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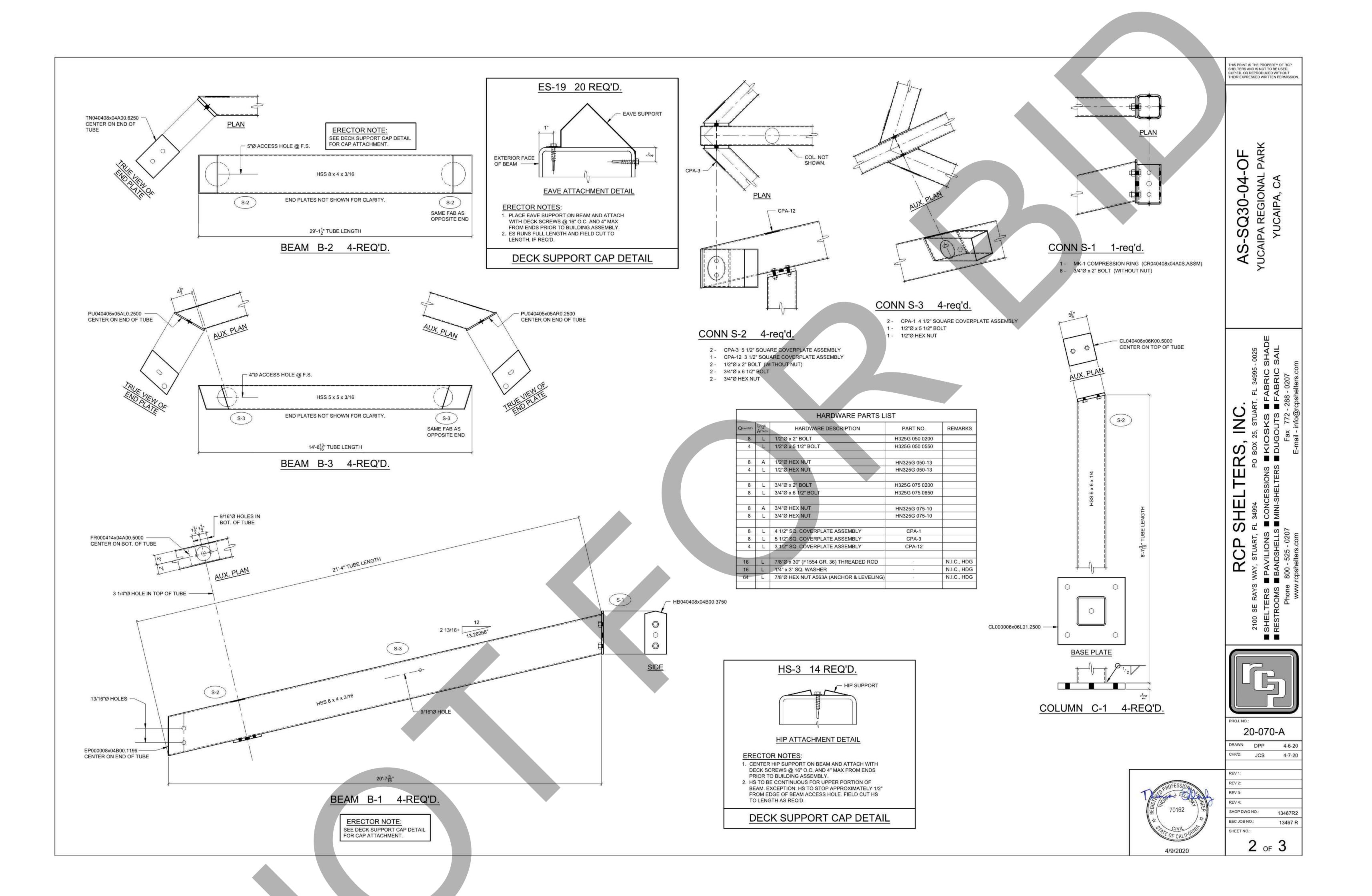
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SHEET TITLE:

PICNIC SHELTER

SHEET NO.:



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42095 ZEVO DR., TEMECULA, CALIFORNIA 92590-3780
Phone: 951.296.9110 Fax: 951.296.6079 Email: stk@stkinc.com

CONSULTANT:

PROJECT ADMINISTERED BY:

COUNTY OF

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REAL ESTATE SERVICES

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385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

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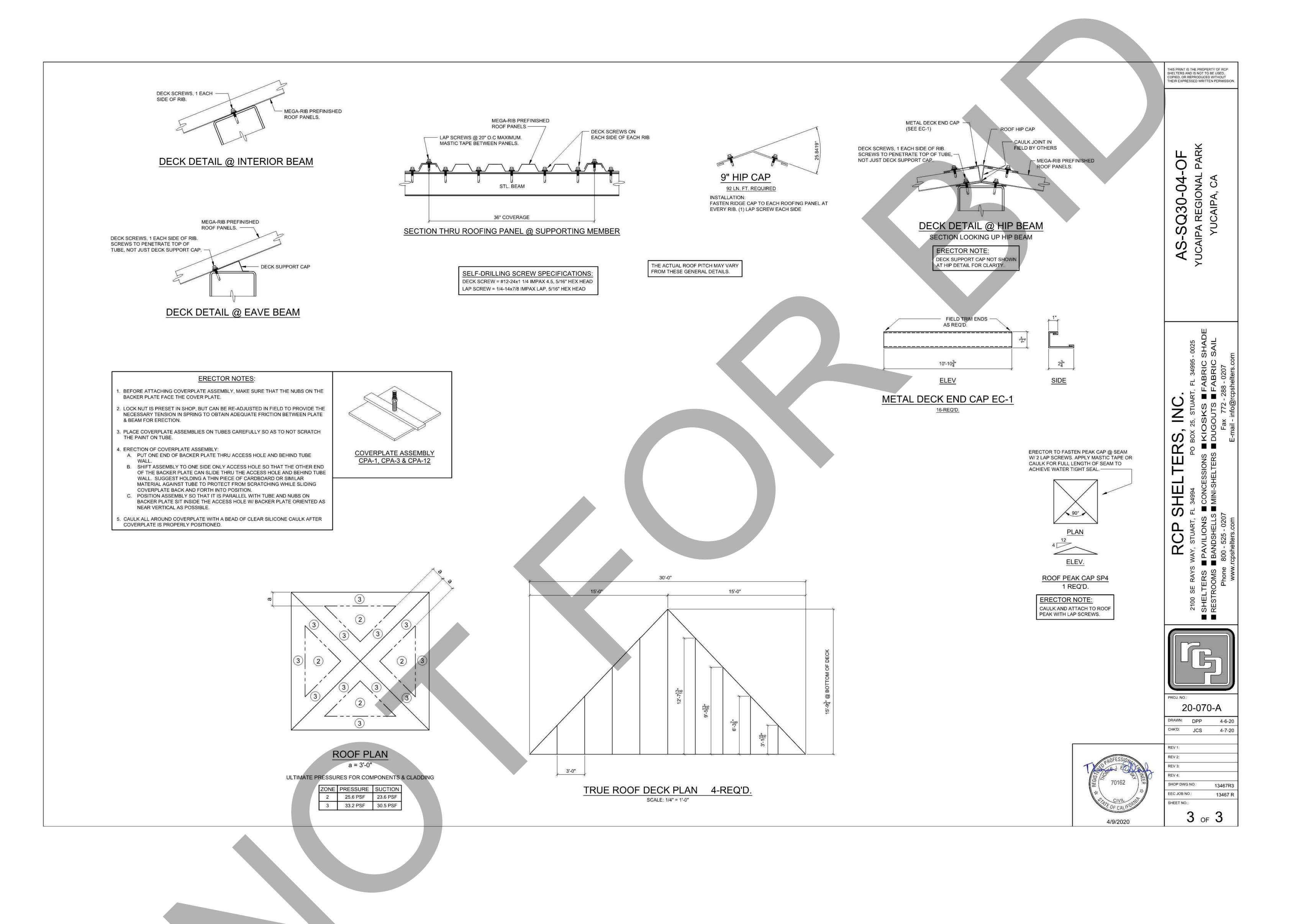
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42095 ZEVO DR., TEMECULA, CALIFORNIA 92590-3780
Phone: 951.296.9110 Fax: 951.296.6079 Email: stk@stkinc.con

CONSULTANT:

PROJECT ADMINISTERED BY:

COUNTY OF

SAN BERNARDINO

REAL ESTATE SERVICES

DEPARTMENT
PROJECT MANAGEMENT

385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

CAMPGROUNDS ADA

UPGRADES

DIVISION

PROJECT NAME:

YUCAIPA REGIONAL PARK: RV & GROUP TENT

PROJECT # 1010-1089

33900 OAK GLEN ROAD YUCAIPA, CA 92399

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DATE:	INFORMATION:

SHEET INFORMATION:

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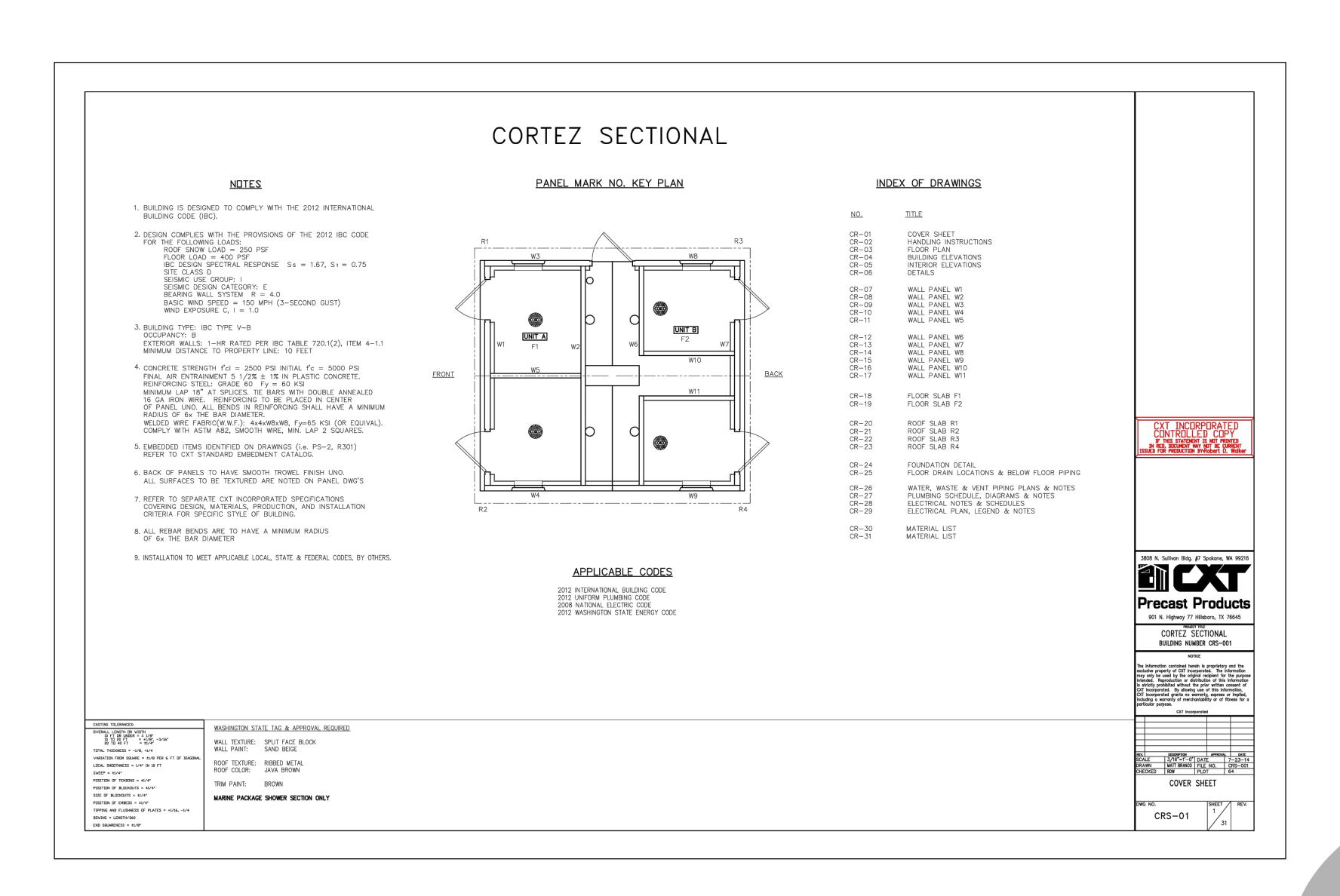
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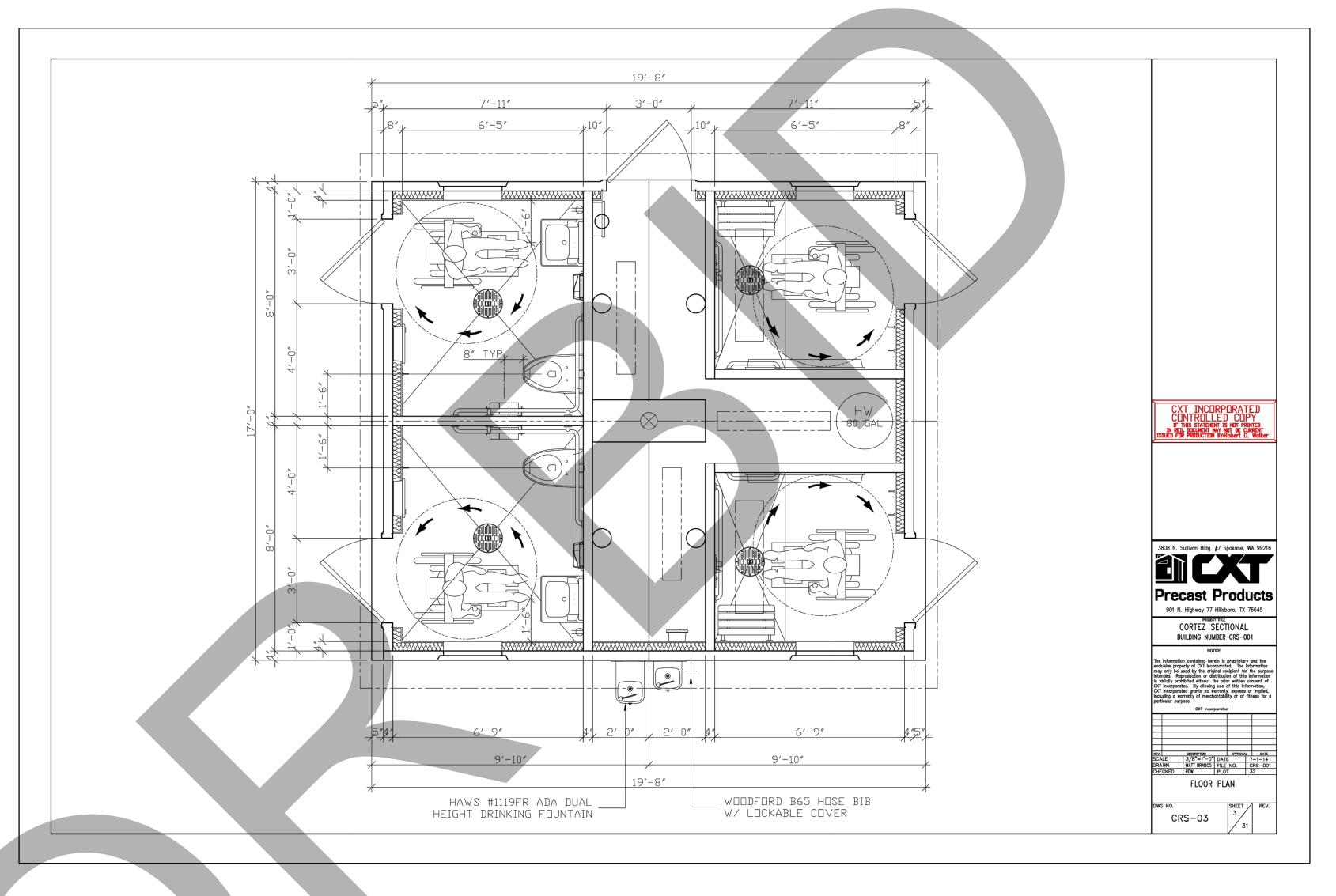


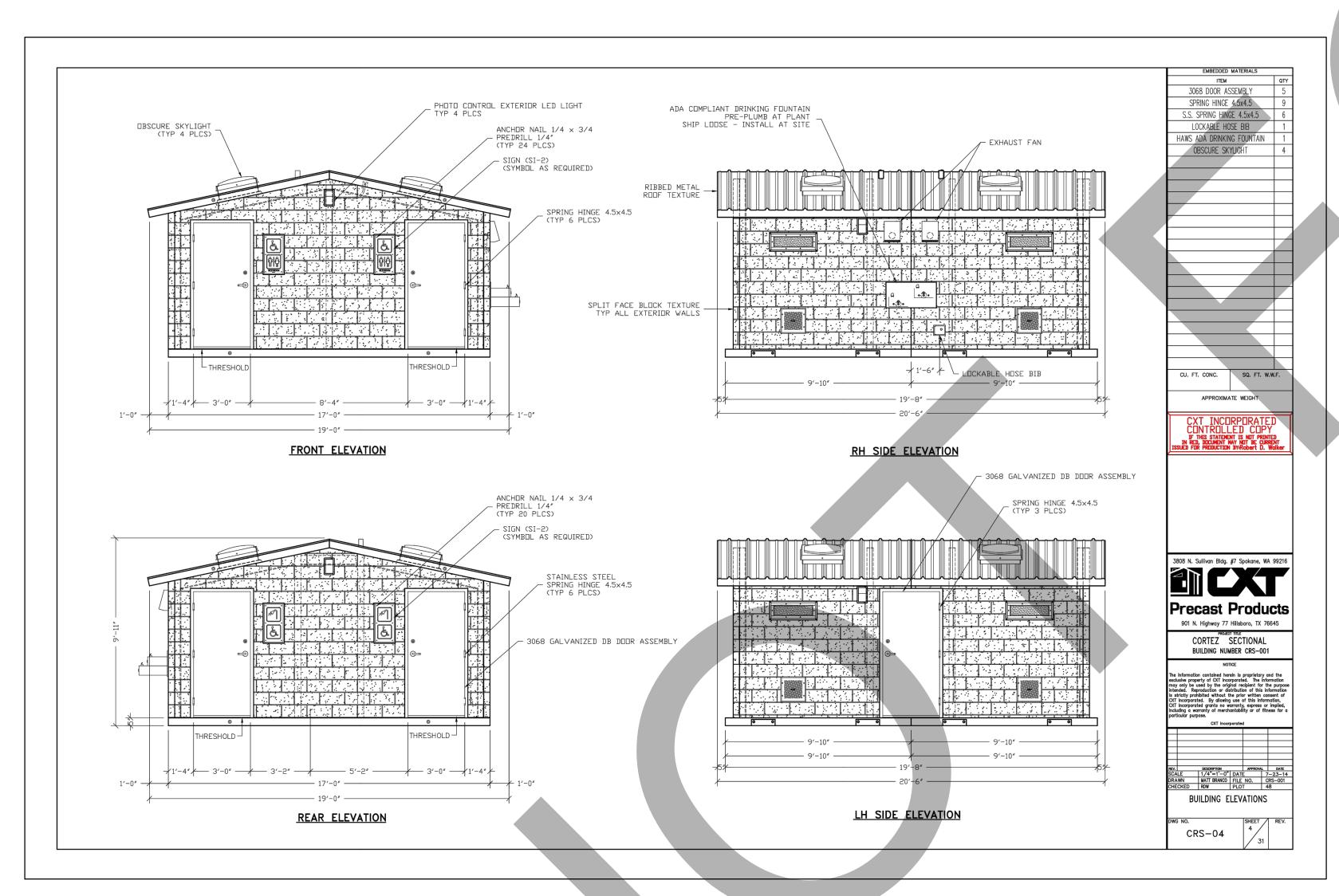
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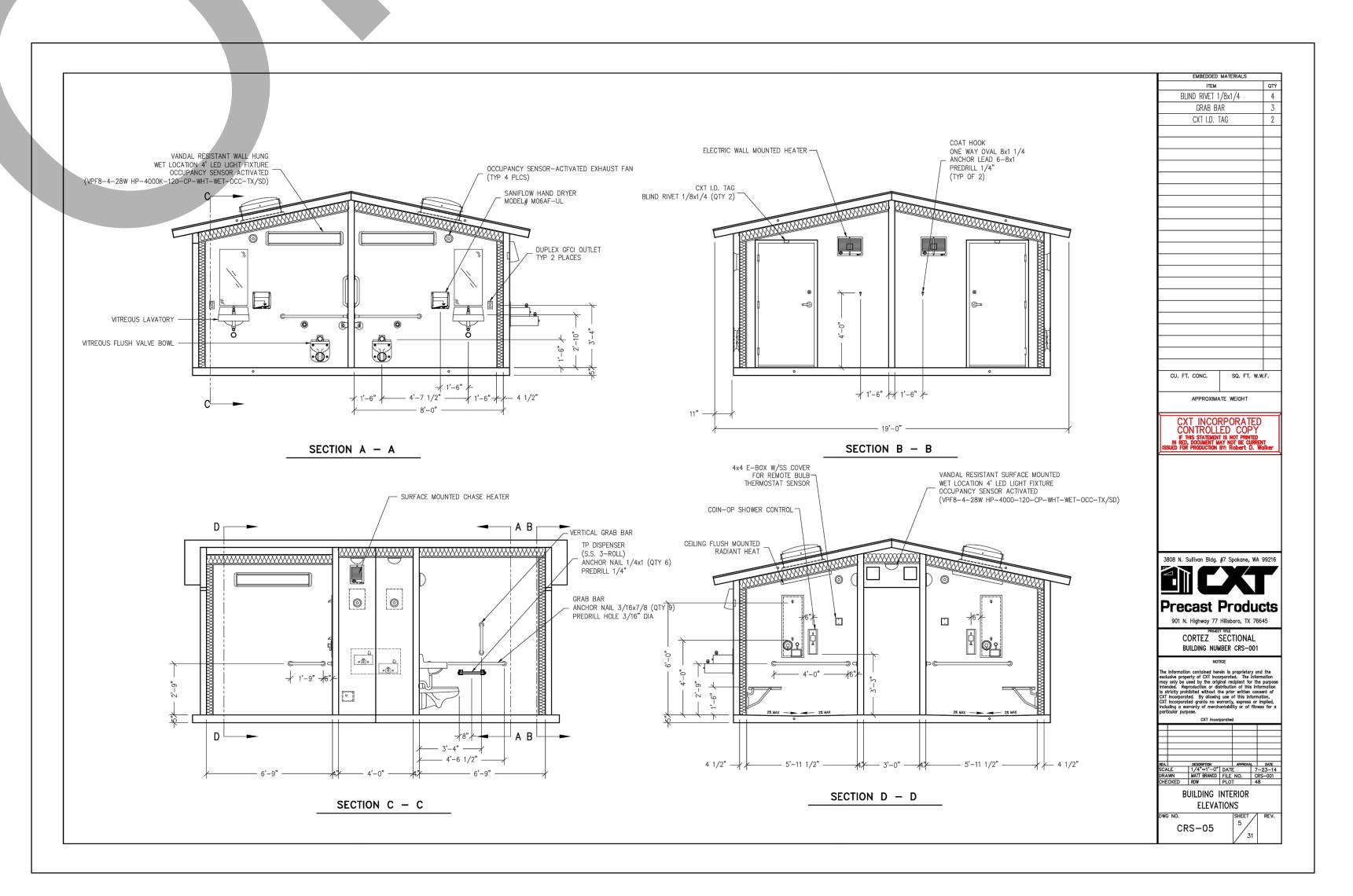
PICNIC SHELTER

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CONSULTANT:

PROJECT ADMINISTERED BY:

COUNTY OF

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REAL ESTATE SERVICES

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385 N. ARROWHEAD AVE. SAN BERNARDINO, CA 92415

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SHEET TITLE

PREFABRICATED RESTROOM / SHOWER

SHEET NO.:

A2.0