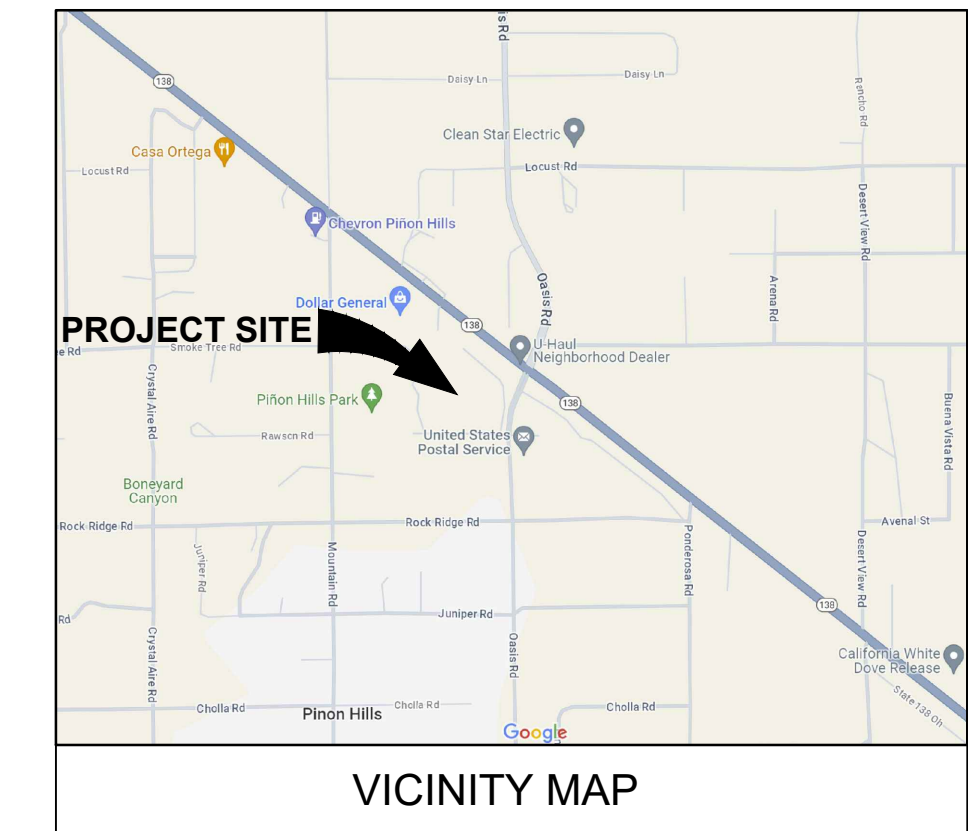


APN: 3068-231-68  
ZONING: GENERAL COMMERCIAL

815 HIGHWAY 138 #1-2  
PINON HILLS, CA 92372-9280  
APN: 3068-231-40-0  
HEMINGWAY FAMILY TRUST /97  
ZONING: GENERAL COMMERCIAL

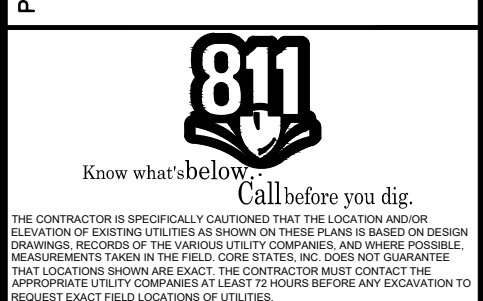
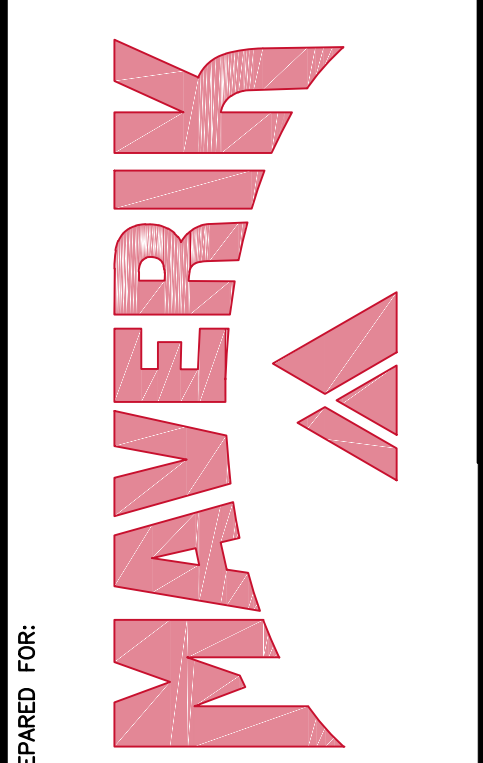


APPROVED FIRE SITE PLAN



**CORE STATES GROUP**  
4240 E. Juniper Street, Suite 402  
Ontario, CA 91761  
Phone (909) 467-8907  
sruic@core-states.com

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REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT CONCEPTUAL SITE PLAN FOR MAVERIK PROGRAM

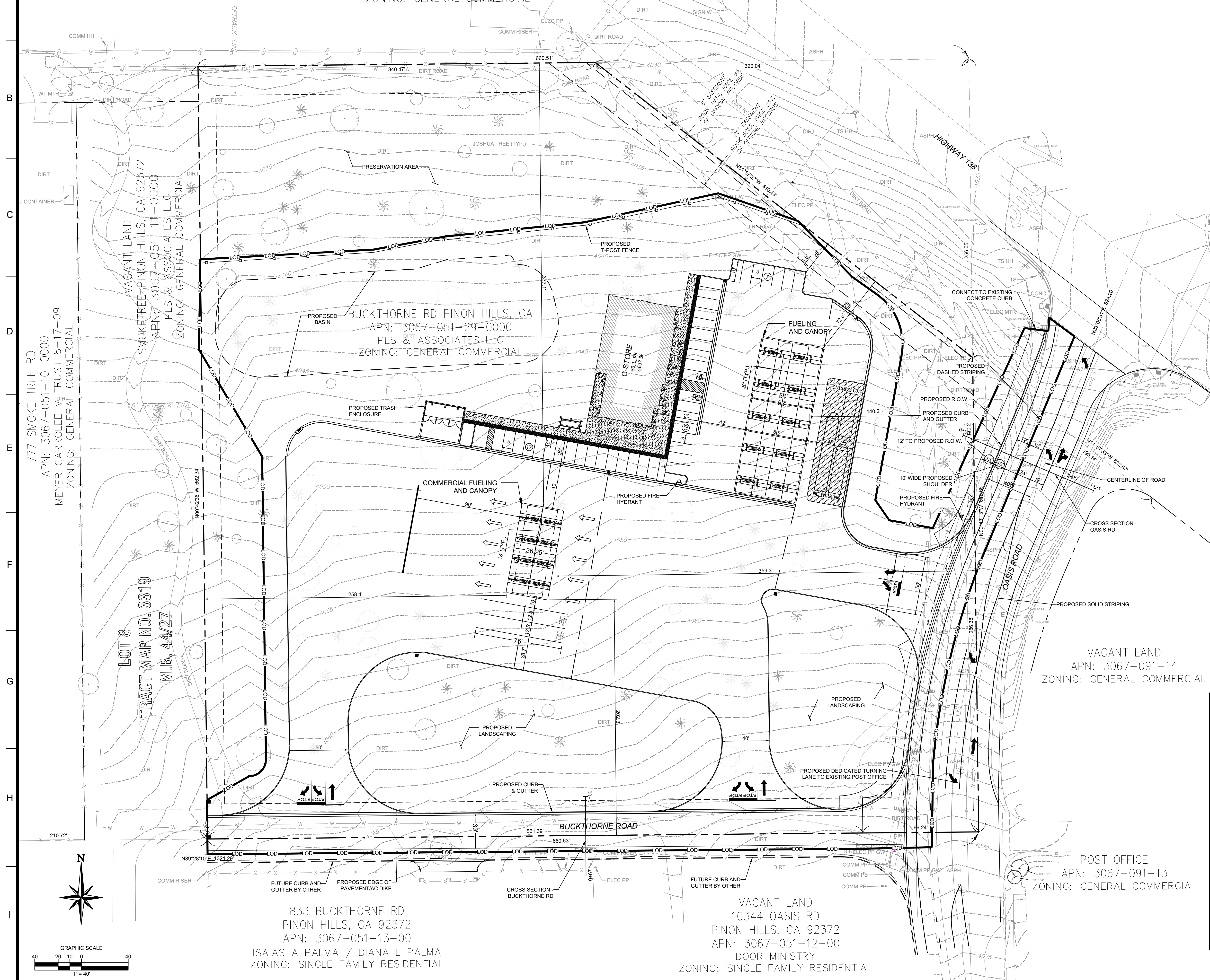
SITE LOCATION  
10450 OASIS ROAD  
PINON HILLS, CA 92372

ENGINEER SEAL

**NOT FOR CONSTRUCTION**

SHEET TITLE  
CONCEPTUAL SITE PLAN

JOB #: MAV.36727.CIVIL  
DATE: 9/20/2024  
SCALE:  
DRAWN BY: JAO  
CHECKED BY: JH  
SHEET NO.

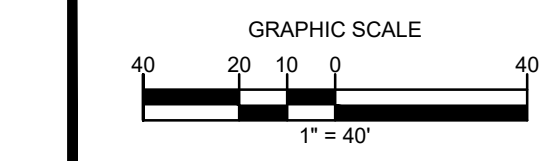


**SITE LEGEND**

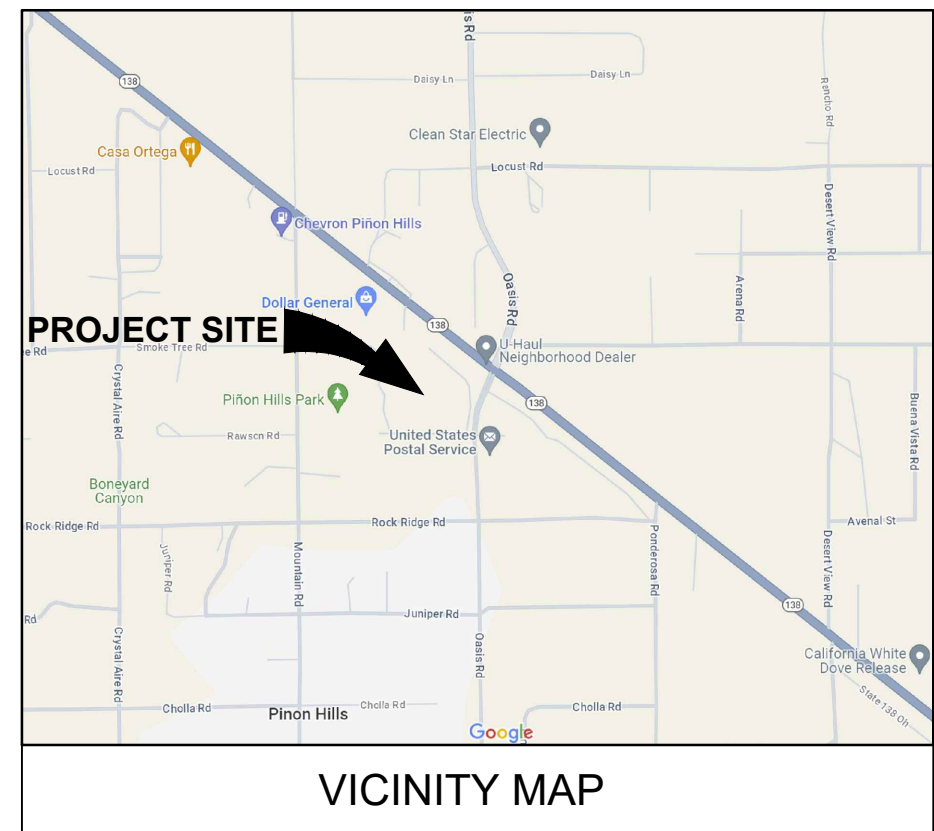
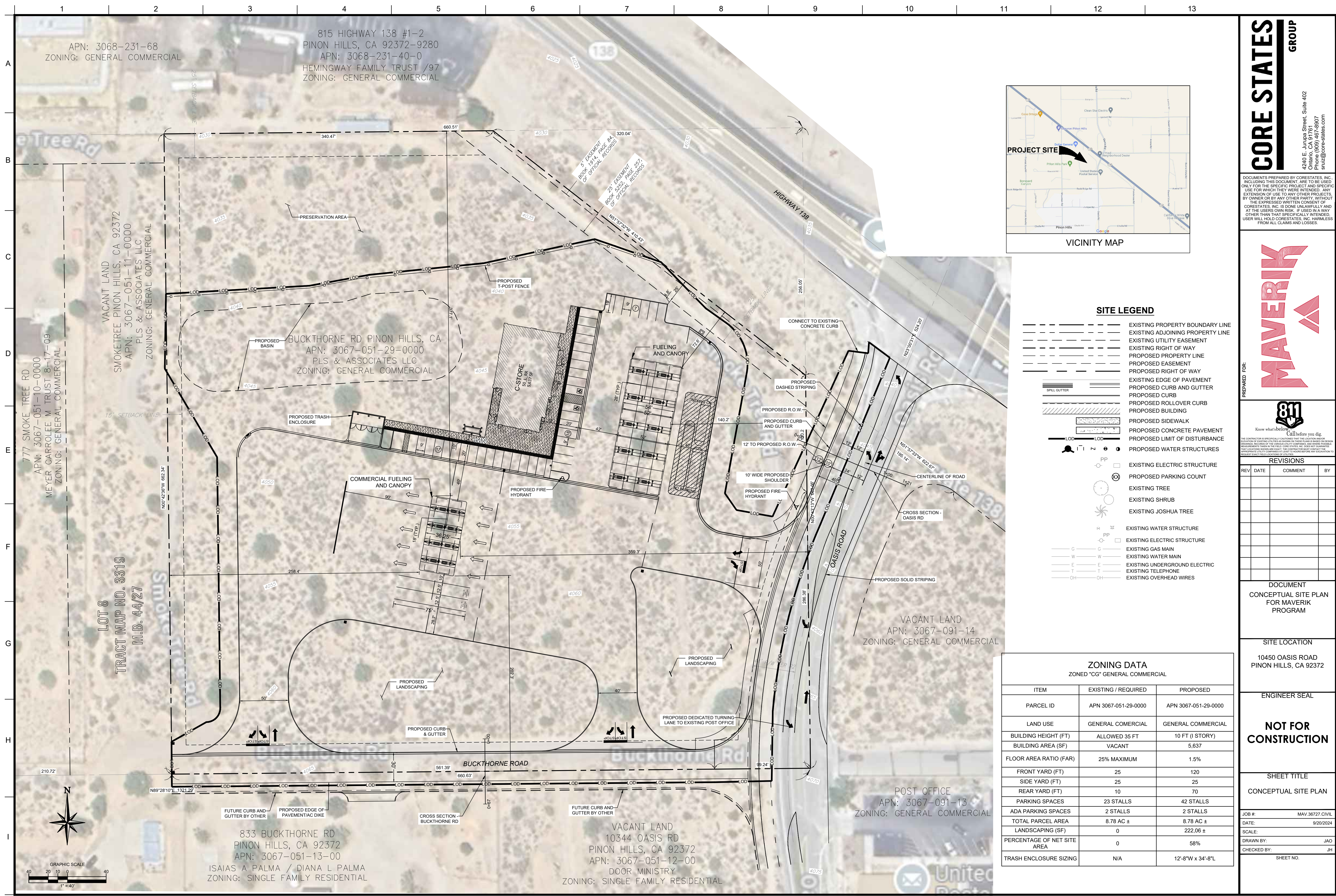
	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING UTILITY EASEMENT
	EXISTING RIGHT OF WAY
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	PROPOSED CURB
	PROPOSED ROLLOVER CURB
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED WATER STRUCTURES
	EXISTING ELECTRIC STRUCTURE
	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
	EXISTING JOSHUA TREE
	EXISTING WATER STRUCTURE
	EXISTING ELECTRIC STRUCTURE
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE
	EXISTING OVERHEAD WIRES

**ZONING DATA**  
ZONED "CG" GENERAL COMMERCIAL

ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	APN 3067-051-29-0000	APN 3067-051-29-0000
LAND USE	GENERAL COMMERCIAL	GENERAL COMMERCIAL
BUILDING HEIGHT (FT)	ALLOWED 35 FT	10 FT (1 STORY)
BUILDING AREA (SF)	VACANT	5,637
FLOOR AREA RATIO (FAR)	25% MAXIMUM	1.5%
FRONT YARD (FT)	25	120
SIDE YARD (FT)	25	25
REAR YARD (FT)	10	70
PARKING SPACES	23 STALLS	42 STALLS
ADA PARKING SPACES	2 STALLS	2 STALLS
TOTAL PARCEL AREA	8.78 AC ±	8.78 AC ±
LANDSCAPING (SF)	0	222.06 ±
PERCENTAGE OF NET SITE AREA	0	58%
TRASH ENCLOSURE SIZING	N/A	12'-8"W x 34'-8"L







**SITE LEGEND**

	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING UTILITY EASEMENT
	EXISTING RIGHT OF WAY
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED RIGHT OF WAY
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	PROPOSED CURB
	PROPOSED ROLLOVER CURB
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED WATER STRUCTURES
	EXISTING ELECTRIC STRUCTURE
	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
	EXISTING JOSHUA TREE
	EXISTING WATER STRUCTURE
	EXISTING ELECTRIC STRUCTURE
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE
	EXISTING OVERHEAD WIRES

**ZONING DATA**  
ZONED "CG" GENERAL COMMERCIAL

ITEM	EXISTING / REQUIRED	PROPOSED
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PERCENTAGE OF NET SITE AREA	0	58%
TRASH ENCLOSURE SIZING	N/A	12'-8" x 34'-8"

**CORE STATES GROUP**  
4240 E. Juniper Street, Suite 402  
Ontario, CA 91761  
Phone (909) 467-8907  
srulic@core-states.com

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**811**  
Know what's below. Call before you dig.

**REVISIONS**

REV	DATE	COMMENT	BY

**DOCUMENT**  
CONCEPTUAL SITE PLAN FOR MAVERIK PROGRAM

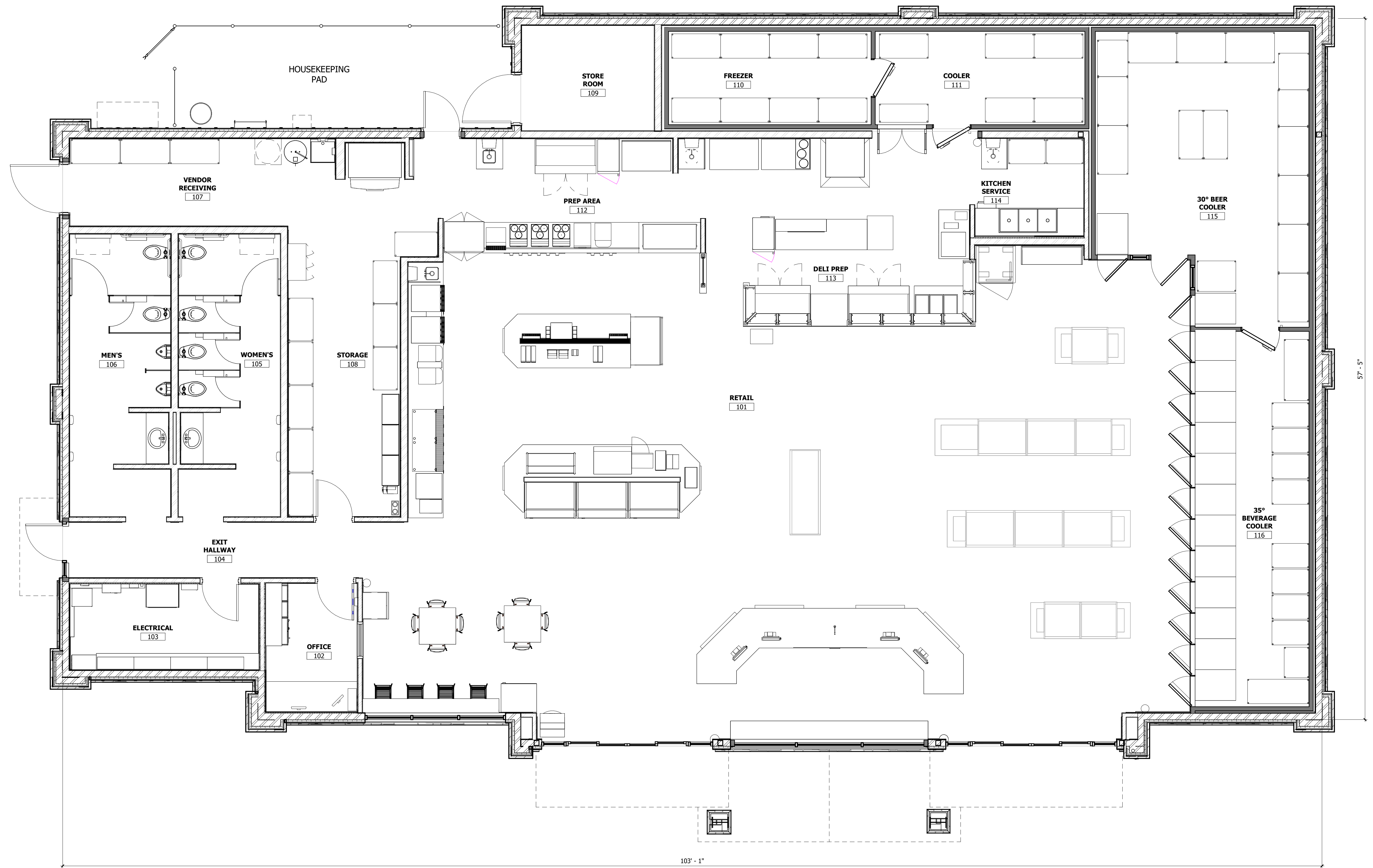
**SITE LOCATION**  
10450 OASIS ROAD  
PINON HILLS, CA 92372

**ENGINEER SEAL**

**NOT FOR CONSTRUCTION**

**SHEET TITLE**  
CONCEPTUAL SITE PLAN

**JOB #:** MAV.36727.CIVIL  
**DATE:** 9/20/2024  
**SCALE:**  
**DRAWN BY:** JAO  
**CHECKED BY:** JH  
**SHEET NO.**

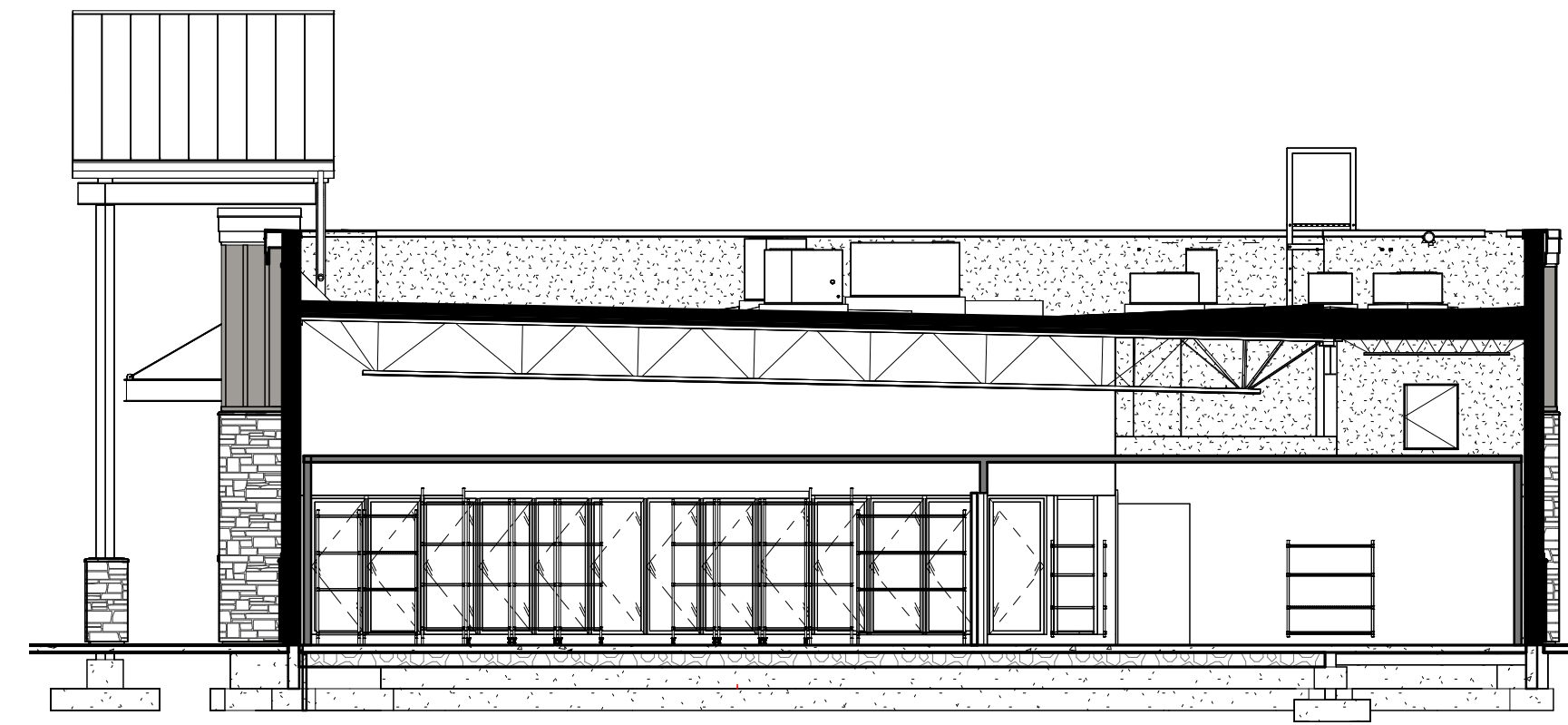


**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

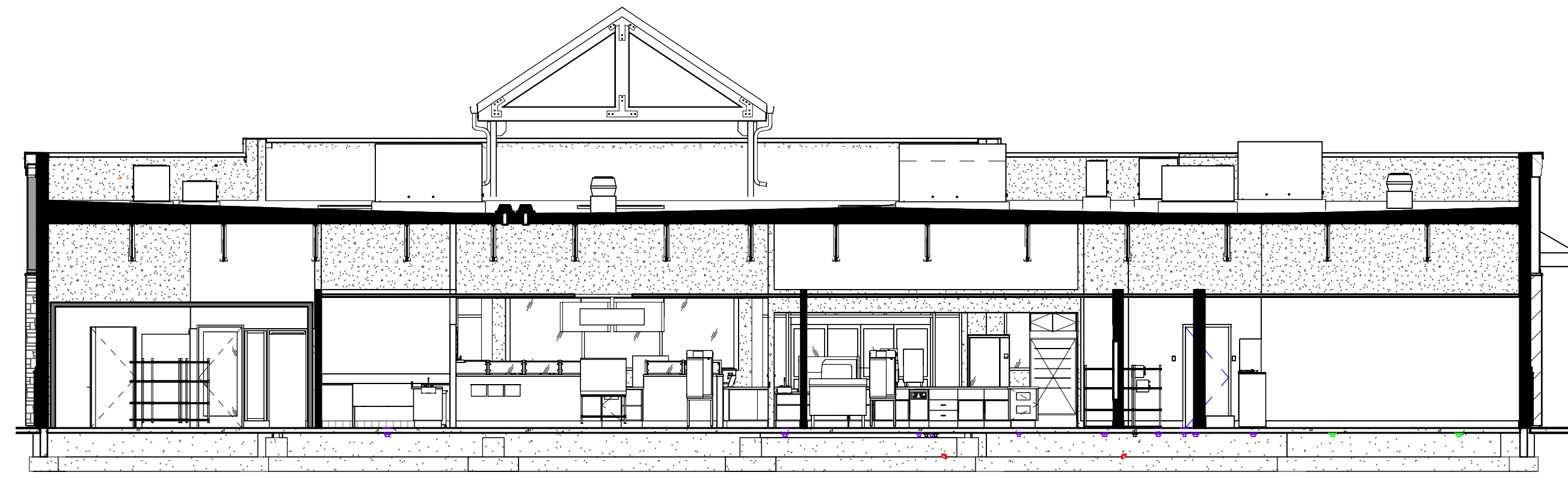
PROPOSED MAVERIK C-STORE

Prototype Version: 50\_L\_RR\_2202  
 Building Square Footage: 5,637 SF  
 Construction Type/Occupancy Classification: V-B / M  
 A-1 | FLOOR PLAN

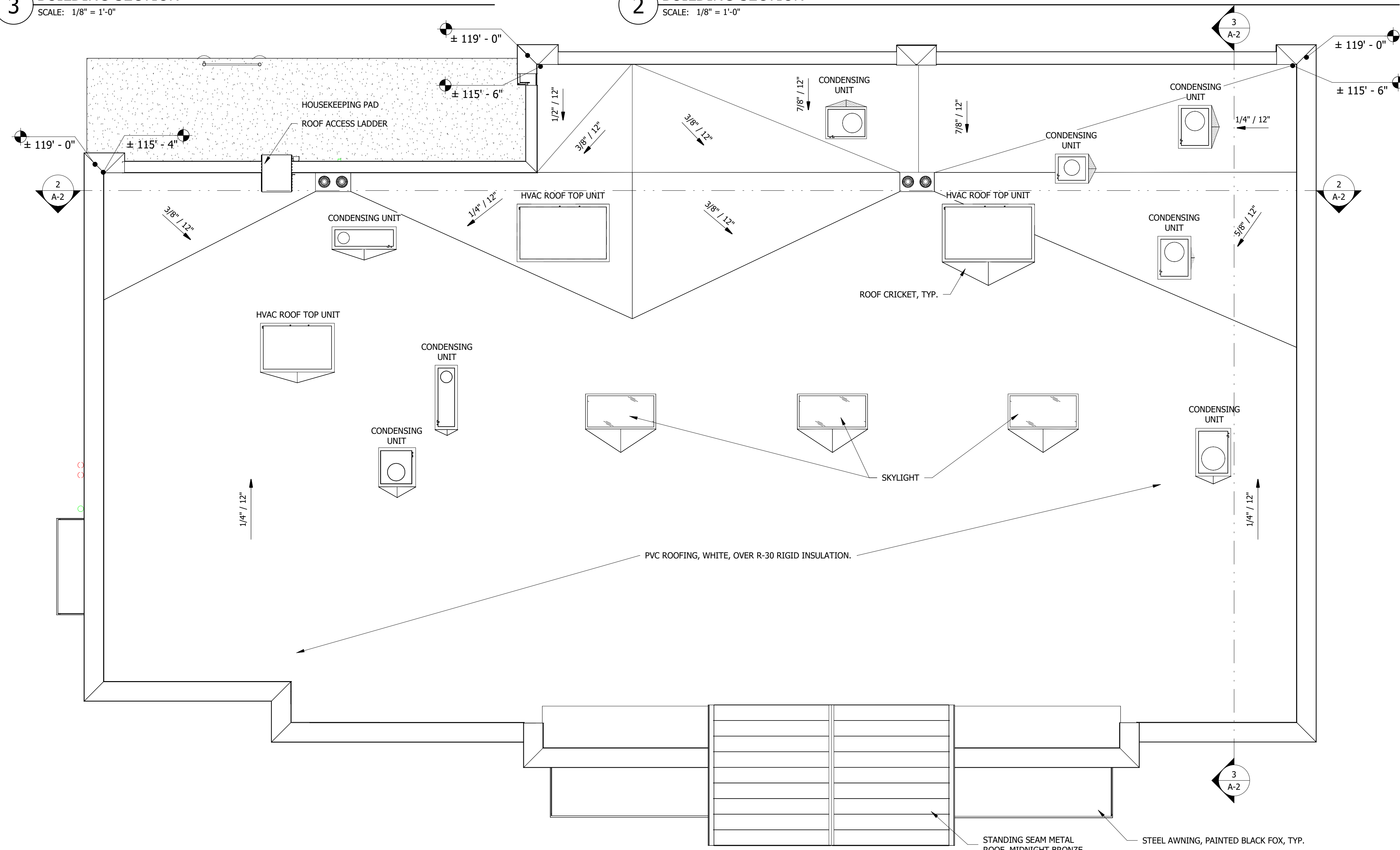




**3 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

PROPOSED MAVERIK C-STORE

Prototype Version: 50\_L\_RR\_2202  
 Building Square Footage: 5,637 SF  
 Construction Type/Occupancy Classification: V-B / M

A-2 | ROOF PLAN



2 BUILDING PERSPECTIVE - FRONT RIGHT  
SCALE:



1 BUILDING PERSPECTIVE - FRONT LEFT  
SCALE:

PROPOSED MAVERIK C-STORE

Prototype Version: 50\_L\_RR\_2202  
 Building Square Footage: 5,637 SF  
 Construction Type/Occupancy Classification: V-B / M

A-3 | PERSPECTIVE VIEWS



**KEYED NOTES**

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 05.01 PRE-FINISHED GUTTER AND DOWNSPOUT, BRITTE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.06 MBCI PRE-FINISHED METAL ROOF, 1 3/4" STANDING SEAM, MIDNIGHT BRONZE
- 05.21 PRE-FINISHED METAL COPING, COLOR MIDNIGHT BRONZE
- 05.69 STEEL AWNING, COLOR P-9
- 05.79 3/4" METAL SOFFIT, COMMERCIAL GRADE. COLOR: PAINTED BLACK FOX SW 7020
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 08.02 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE
- 08.04 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH SIDING
- 08.05 WINDOW, SEE SCHEDULE
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE, SEE DETAIL 1/A5.11. POWDER COATED COLOR TO MATCH SIDING BB-1
- 32.01 CHAIN LINK FENCE WITH PRIVACY SLATS. COLOR TO MATCH BUILDING FIELD COLOR



**2 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**PROPOSED MAVERIK C-STORE**

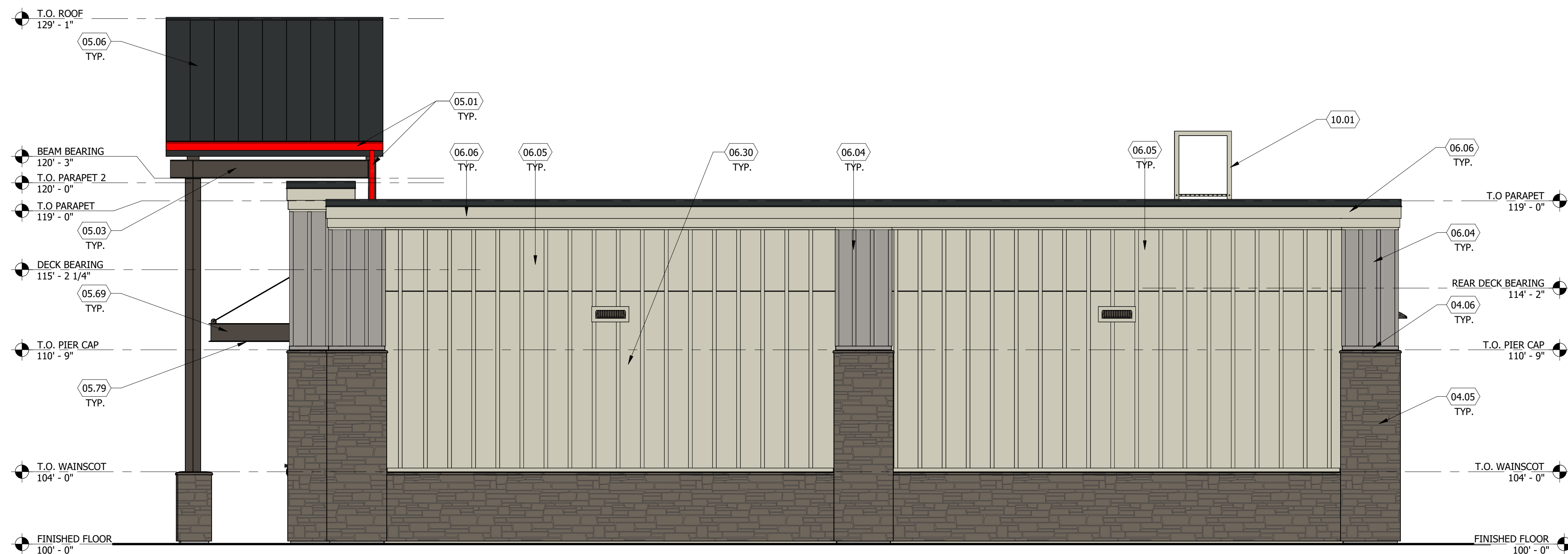
Prototype Version: 50\_L\_RR\_2202  
 Building Square Footage: 5,637 SF  
 Construction Type/Occupancy Classification: V-B / M

A-4 | EXTERIOR ELEVATIONS

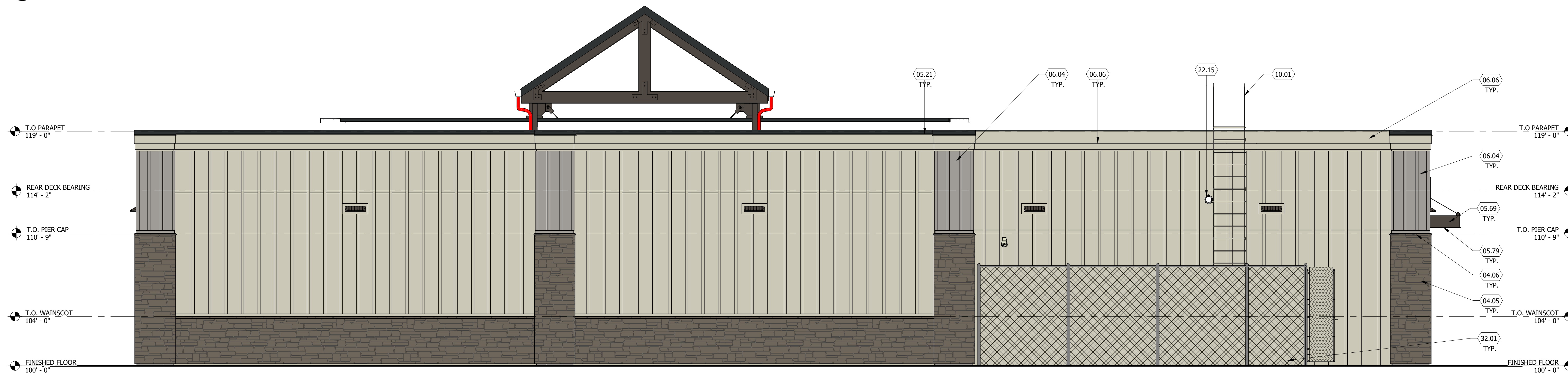


**KEYED NOTES**

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 05.01 PRE-FINISHED GUTTER AND DOWNSPOUT, BRITTE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.06 MBCI PRE-FINISHED METAL ROOF, 1 3/4" STANDING SEAM, MIDNIGHT BRONZE
- 05.21 PRE-FINISHED METAL COPING, COLOR MIDNIGHT BRONZE
- 05.69 STEEL AWNING, COLOR P-9
- 05.79 3/4" METAL SOFFIT, COMMERCIAL GRADE. COLOR: PAINTED BLACK FOX SW 7020
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 06.30 HORIZONTAL JOINT IN SIDING
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE, SEE DETAIL 1/A5.11. POWDER COATED COLOR TO MATCH SIDING BB-1
- 22.15 ROOF OVERFLOW DRAIN SCUPPER, SEE PLUMBING DRAWINGS
- 32.01 CHAIN LINK FENCE WITH PRIVACY SLATS. COLOR TO MATCH BUILDING FIELD COLOR



**2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



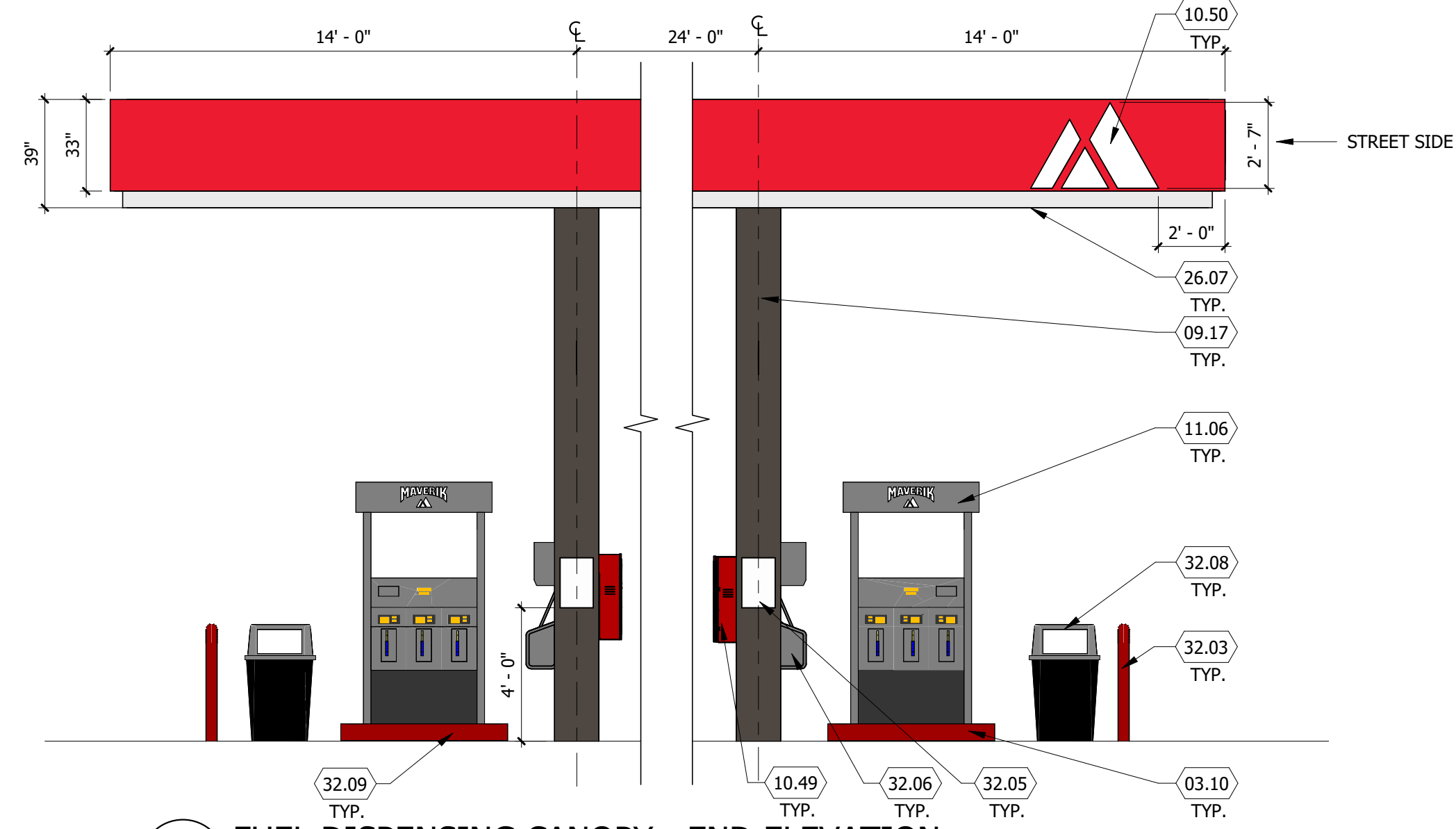
**1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**PROPOSED MAVERIK C-STORE**

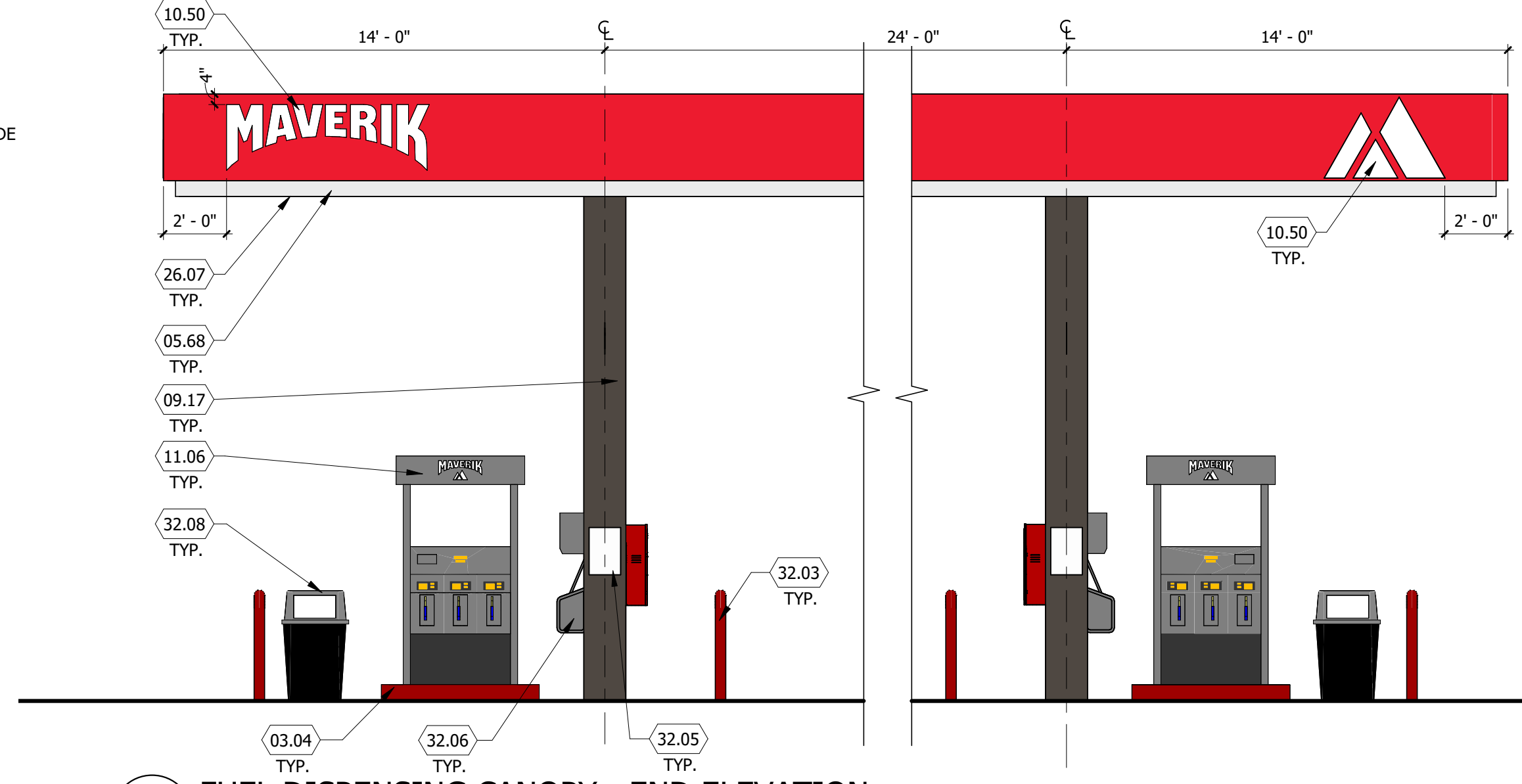
Prototype Version: 50\_L\_RR\_2202  
 Building Square Footage: 5,637 SF  
 Construction Type/Occupancy Classification: V-B / M

A-5 | EXTERIOR ELEVATIONS





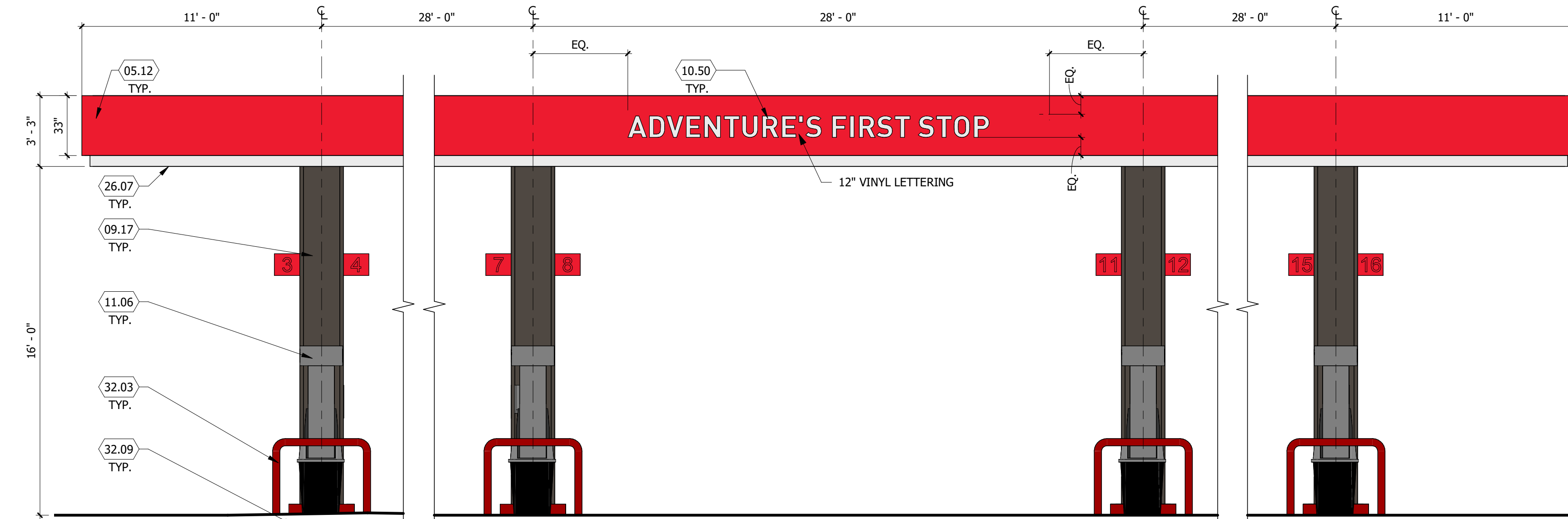
5 FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"



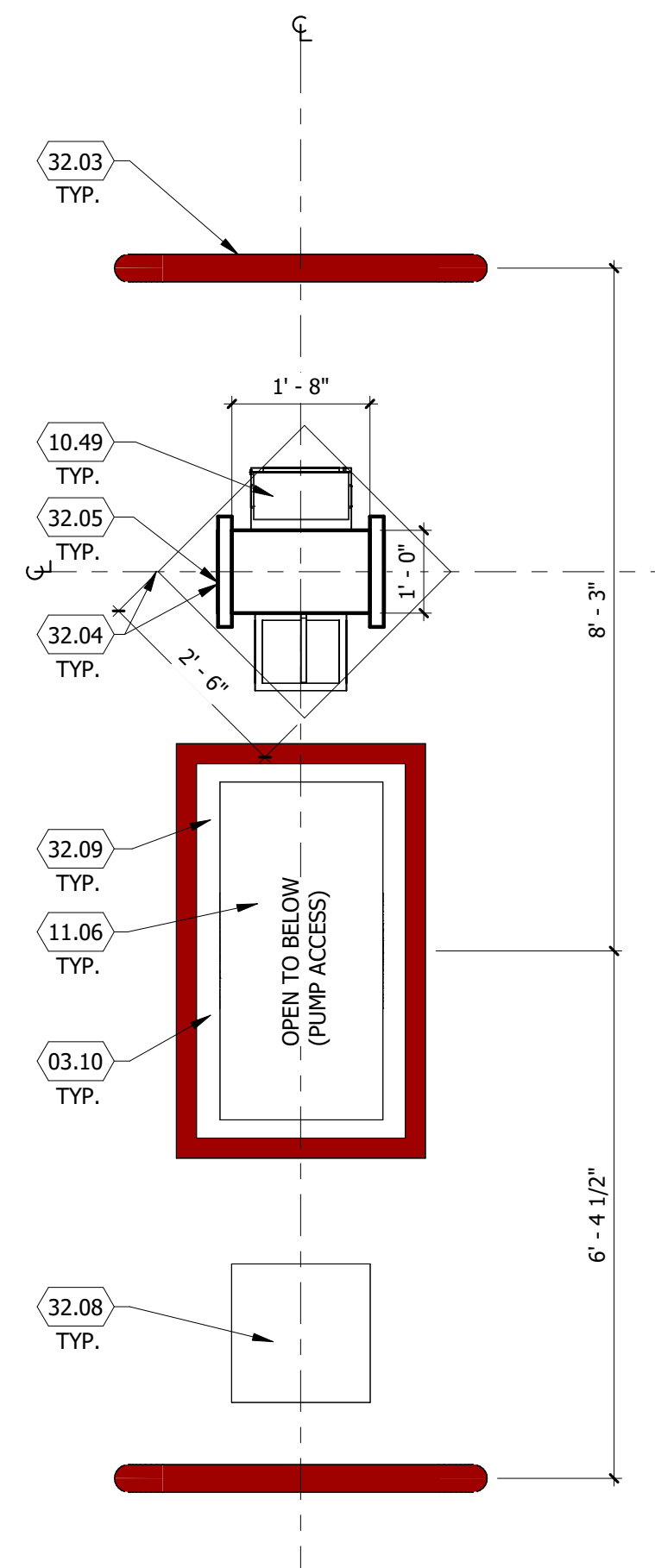
4 FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"

**KEYED NOTES**

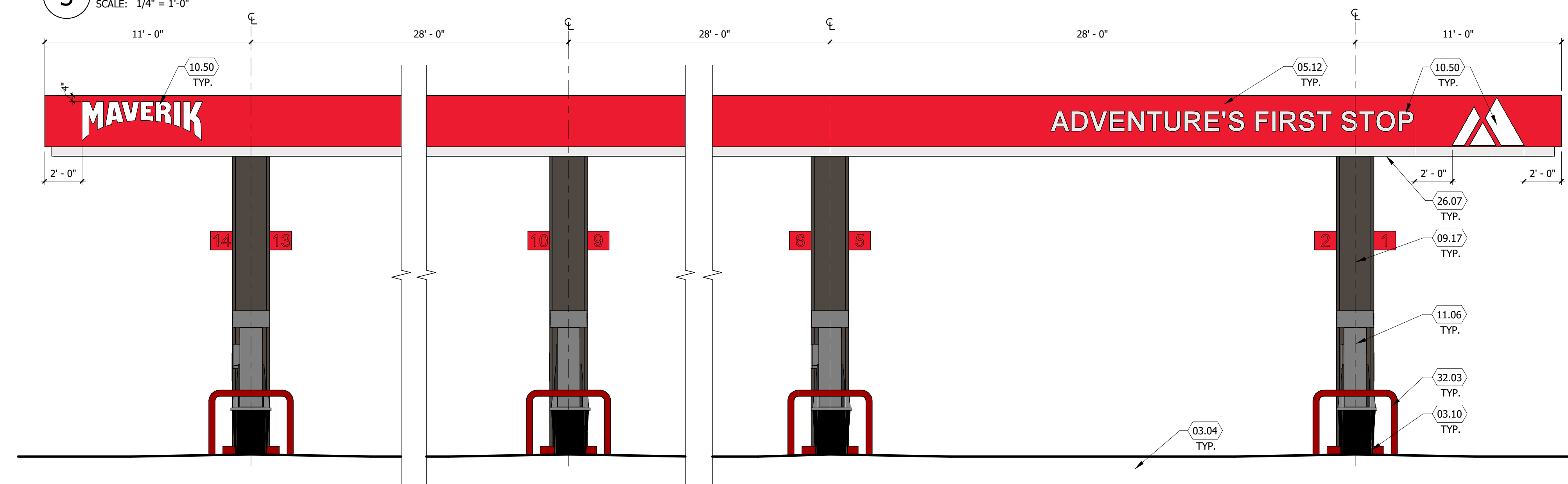
- 03.04 REINFORCED CONCRETE PAD
- 03.10 6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS. VERIFY SIZE W/ DISPENSER SUPPLIER +/-5'-0" X 3'-0" (NO METAL FORM). ACCESSIBLE ISLAND TO BE 6"; SEE CIVIL DRAWINGS FOR LOCATION
- 05.12 ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED
- 05.68 ALUMINUM COMPOSITE METAL PANEL, WHITE
- 09.17 PANEL COLUMN CLADDING, COLOR TO MATCH P-9
- 10.49 4A-40 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
- 10.50 SIGNAGE TO BE COORDINATED BY FUEL CANOPY CONTRACTOR WITH OWNER DISPENSING STATION (BY OTHERS)
- 11.06 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL SOFFIT (SOFFIT COLOR P-7). SEE ELECTRICAL AND FUEL DISPENSING DRAWINGS
- 32.03 4" DIAMETER "U" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS. PAINTED P-4
- 32.04 EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
- 32.05 SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
- 32.06 S.S.I. (WINDOW WASH/PAPER TOWEL) PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (4'-0" MAX A.F.F. TO PAPER TOWEL FOLD)
- 32.08 TRASH CONTAINER, PROVIDED BY OWNER
- 32.09 PAINT CONCRETE CURB EDGE P-4, SEE SCHEDULE ON SHEET A6.03



3 FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



2 CANOPY COLUMN PLAN  
SCALE: 1/2" = 1'-0"



1 FUEL DISPENSING CANOPY - STREET SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

PROPOSED MAVERIK C-STORE

**NOTE:**  
FUEL CANOPY DRAWINGS PROVIDED ARE CONCEPTUAL, AND MAY VARY FROM SITE TO SITE.

Prototype Version: 50\_L\_RR\_2202  
Building Square Footage: 5,637 SF  
Construction Type/Occupancy Classification: V-B / M

