

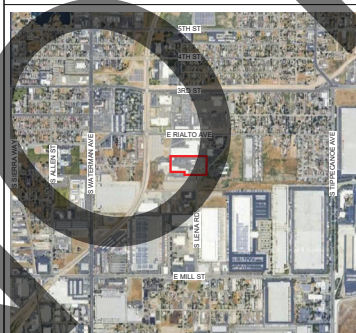
SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL

200 SOUTH LENA RD.
SAN BERNARDINO, CA

PROJECT DIRECTORY

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P/O:
CONTACT:
COMMISSIONING CONSULTANT:
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P/O:
CONTACT:

VICINITY MAP



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SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL

200 SOUTH LENA RD.
SAN BERNARDINO, CA

COUNTY OF SAN BERNARDINO



MARK	DATE	DESCRIPTION
	08/26/24	PC RD 1 SUBMITTAL

COVER SHEET

G001

NOT USED

APPLICABLE CODES

PARTIAL LIST OF APPLICABLE CODES AS OF JANUARY 2020
2022 CALIFORNIA ADMINISTRATIVE CODE (PART 1, TITLE 24 C.C.R.
2022 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24 C.C.R.
(2021 INTERNATIONAL BUILDING CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24 C.C.R.
(2021 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
(2021 UNIFORM MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24 C.C.R.
(2021 UNIFORM PLUMBING CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA ENERGY CODE (CEC) PART 6, TITLE 24 C.C.R.
2022 CALIFORNIA FIRE CODE PART 8, TITLE 24 C.C.R.
(2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA EXISTING BUILDINGS CODE PART 10
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen) PART 11, TITLE 24 C.C.R.
2022 CALIFORNIA REFERENCED STANDARDS CODE PART 12, TITLE 24 C.C.R.
TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
PARTIAL LIST OF APPLICABLE STANDARDS
NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS 2019 EDITION
NFPA 14 - STANDPIPE SYSTEMS (CA AMENDED) 2019 EDITION
NFPA 17A - WET CHEMICAL SYSTEMS 2017 EDITION
NFPA 20 - STATIONARY PUMPS 2019 EDITION
NFPA 24 - PRIVATE FIRE MAINS (CA AMENDED) 2019 EDITION
NFPA 72 - NATIONAL FIRE ALARM CODE (CA AMENDED) 2019 EDITION
NFPA 80 - FIRE DOOR AND OTHER OPENING PROTECTIVES 2019 EDITION
NFPA 2001 - CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 EDITION

PROJECT DESCRIPTION

GENERAL RENOVATIONS TO EXISTING LABORATORY FACILITY. IMPROVEMENTS INCLUDE NEW ADA PARKING STALLS AND PATH OF TRAVEL, AND LAB SPACE REMODEL WITH NEW LAYOUT, EQUIPMENT, FIXTURES, AND FINISHES.

REFERENCE DOCUMENTS

1. SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL - ADDITIVE ALTERNATE 1

OWNER PROVIDED SCOPE

1. N/A

PROJECT SUMMARY

DESCRIPTION	INFO	2022 CBC REFERENCE
OVERALL EXISTING BUILDING	4,088 SF	
BUILDING AREA RENOVATED	4,088 SF	REFER TO SHEET G100
ACTUAL EXISTING NUMBER OF STORES	1	
TYPE OF CONSTRUCTION	JB	CHAPTER 4, TABLE 601
SPRINKLERED ON	YES	SECTION 903
ACTUAL EXISTING BUILDING HEIGHT	10'0"	REPORT ABOVE GRADE IN FEET
OCCUPANCY TYPE	BUSINESS	CHAPTER 7, SECTION 903.3 THRU 913
ACCESSIBLE SITE ENTRANCE SIGNAGE	EXISTING	REFER TO SHEET A100
ACCESSIBLE ROUTE	EXISTING	REFER TO SHEET G100
ACCESSIBLE ROUTE SIGNAGE	EXISTING	
ACCESSIBILITY SIGNAGE AT BUILDING	EXISTING	
FIRE SEPARATIONS	NO	REFER TO SHEET G100

DEFERRED APPROVALS

- THE CONTRACTOR IS TO PROVIDE COMPLETE DESIGN SUBMITTALS WITH JUSTIFICATION OF LIFE SAFETY ELEMENTS AND/OR SYSTEM. PRIOR TO SUBMITTING TO AUTHORITY HAVING JURISDICTION, ALL SUBMITTALS SHALL BE AS FOLLOWS:
1. ALL LICENSED ENGINEERS MUST STAMP AND DETAIL SHOP DRAWINGS INCLUDING SUPPORTING CALCULATIONS.
 2. ALL SHOP DRAWINGS MUST INDICATE COORDINATION BETWEEN THE DEFERRED SUBMITTAL AND APPROVED DRAWING IS COMPLETE.
 3. ALL SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR CONSTRUCTION AND INSTALLATION TO THE ARCHITECT FOR APPROVAL.
- THE DEFERRED APPROVAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE ARCHITECT AND AUTHORITY HAVING JURISDICTION.
- DEFERRED APPROVAL ITEMS ARE AS FOLLOWS:**
1. **FIRE ALARM SYSTEM**
 - A. SUBMITTED DRAWINGS AT TIME OF DEFERRED SUBMITTAL APPROVAL SHALL INCLUDE ALL FLOOR PLANS AND CROSS SECTIONS TO INDICATED PLACEMENT WITHIN THE BUILDING.
 - B. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE POWER AND ASSOCIATED DEVICES THAT PERTAIN TO THE FIRE ALARM SYSTEM. CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE WITH ELECTRICAL CONTRACTOR AND FIRE ALARM VENDOR.
 - C. BUILDINGS SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72.
 2. **FIRE SPRINKLER SYSTEM**
 - A. SUBMITTED DRAWINGS AT TIME OF DEFERRED SUBMITTAL APPROVAL SHALL INCLUDE ALL FLOOR PLANS AND CROSS SECTIONS TO INDICATED PLACEMENT WITHIN THE BUILDING.
 - B. CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE SYSTEM DESIGN WITH ALL TRADES TO ENSURE ROUTING, CLEARANCES, CONNECTIONS, ETC., ARE FEASIBLE AND COORDINATED.

BID ALTERNATES

1. SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL - ADDITIVE ALTERNATE 1

SPECIAL INSPECTIONS

1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



WWW.HOLTARCHITECTURE.COM
CONSULTANT



SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL
200 SOUTH LENARD,
SAN BERNARDINO, CA

PROJECT:

COUNTY OF SAN BERNARDINO



CLIENT:

MARK	DATE	DESCRIPTION
	06/28/24	PO RD 1 SUBMITTAL

PROJECT NO.: 08C-002

SHEET TITLE:
TITLE SHEET

SHEET NO.:

G002

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**A5.602
CALGreen VERIFICATION GUIDELINES
MANDATORY MEASURES CHECKLIST
2022 EDITION**

APPLICATION: THIS CHECKLIST SHALL BE USED FOR NONRESIDENTIAL PROJECTS THAT MEET ONE OF THE FOLLOWING: NEW CONSTRUCTION, BUILDING ADDITIONS OF 1,000 SQUARE FEET OR GREATER, OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$500,000 OR MORE PURSUANT TO SECTION 301.1 AND NOT TRIGGER A TIER 1 OR TIER 2 REQUIREMENT

Y = YES (SECTION HAS BEEN SELECTED AND/OR INCLUDED)
N/A = NOT APPLICABLE (CODE SECTION DOES NOT APPLY TO THE PROJECT - MAINLY USED FOR ADDITIONS AND ALTERATIONS)
O = OTHER (PROVIDE EXPLANATION)
[N] = NEW CONSTRUCTION PURSUANT TO SECTION 301.3
[A] = ADDITIONAL AND/OR ALTERATIONS PURSUANT TO SECTION 301.3

CHAPTER 5 DIVISIONS								
DIVISION 5.1 PLANNING AND DESIGN								
REQUIREMENT	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE	
MANDATORY	STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN 1 ACRE OF LAND	5.106.1 THROUGH 5.106.2						
MANDATORY	SHORT-TERM BICYCLE PARKING (WITH EXCEPTION)	5.106.4.1.1						
MANDATORY	LONG-TERM BICYCLE PARKING	5.106.4.1.2 THROUGH...						
MANDATORY	ELECTRIC VEHICLE (EV) CHARGING [N] (WITH EXCEPTIONS)	5.106.5.3						
MANDATORY	EV CAPABLE SPACES [N]	5.106.5.3.1						
MANDATORY	ELECTRICAL VEHICLE CHARGING STATIONS (EVCS)	5.106.5.3.2						
MANDATORY	USE OF AUTOMATIC LOAD MANAGEMENT SYSTEMS (ALMS)	5.106.5.3.3						
MANDATORY	ACCESSIBLE EVCS	5.106.5.3.4						
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MANDATORY	ELECTRIC VEHICLE CHARGING READINESS REQUIREMENTS FOR WAREHOUSES, GROCERY STORES AND RETAIL STORES WITH PLANNED OFF-STREET LOADING SPACES, [N]	5.106.5.4.1						
MANDATORY	LIGHT POLLUTION REDUCTION [N] (WITH EXCEPTIONS)	5.106.6						
MANDATORY	PAVING: BACKLIGHT (WITH EXCEPTIONS)	5.106.8.1						
MANDATORY	PAVING: GLARE	5.106.8.2						
MANDATORY	GRAVING AND PAVING (WITH EXCEPTIONS)	5.106.10						
DIVISION 5.2 ENERGY EFFICIENCY								
REQUIREMENT	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE	
MANDATORY	MEET THE MINIMUM ENERGY EFFICIENCY STANDARD	5.201.1						
DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION								
REQUIREMENT	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE	
MANDATORY	SEPARATE METERS (NEW BUILDINGS OR ADDITIONS > 50,000 SF THAT CONSUME MORE THAN 100 GALLONS)	5.303.1.1						
MANDATORY	SEPARATE METERS (FOR TENANTS IN NEW BUILDINGS OR ADDITIONS THAT CONSUME MORE THAN 1,000 GALLONS)	5.303.1.2						
MANDATORY	WATER CLOSETS SHALL NOT EXCEED 1.6 GALLONS PER FLUSH (GPF)	5.303.3.1						
MANDATORY	WALL-MOUNTED URINALS SHALL NOT EXCEED 0.15 GPF	5.303.3.2.1						
MANDATORY	FLOOR-MOUNTED URINALS SHALL NOT EXCEED 0.5 GPF	5.303.3.2.2						
MANDATORY	SINGLE SHOWERHEAD SHALL HAVE MAXIMUM FLOW RATE OF 1.8 GPM (GALLONS PER MINUTE) AT 80 PSI	5.303.3.3.1						
MANDATORY	MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 1.8 GPM AT 80 PSI	5.303.3.3.2						
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MANDATORY	KITCHEN FAUCETS	5.303.3.4.2						
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MANDATORY	CHLOROPOLYETHYLENE (CPE)	5.508.1.1					
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DOCUMENTATION AUTHOR'S / RESPONSIBLE DESIGNER'S DECLARATION STATEMENT

MANDATORY: I ATTEST THAT THIS MANDATORY PROVISIONS CHECKLIST IS ACCURATE AND COMPLETE.

SIGNATURE:		DATE:	
COMPANY:	HOLT ARCHITECTURE	DATE:	
ADDRESS:	2300 MARKET ST #140	DATE:	
CITY/STATE/ZIP:	RIVERSIDE CA, 92555	DATE:	
		DATE:	



MARK	DATE	DESCRIPTION
	02/28/24	PO RD 1 SUBMITTAL

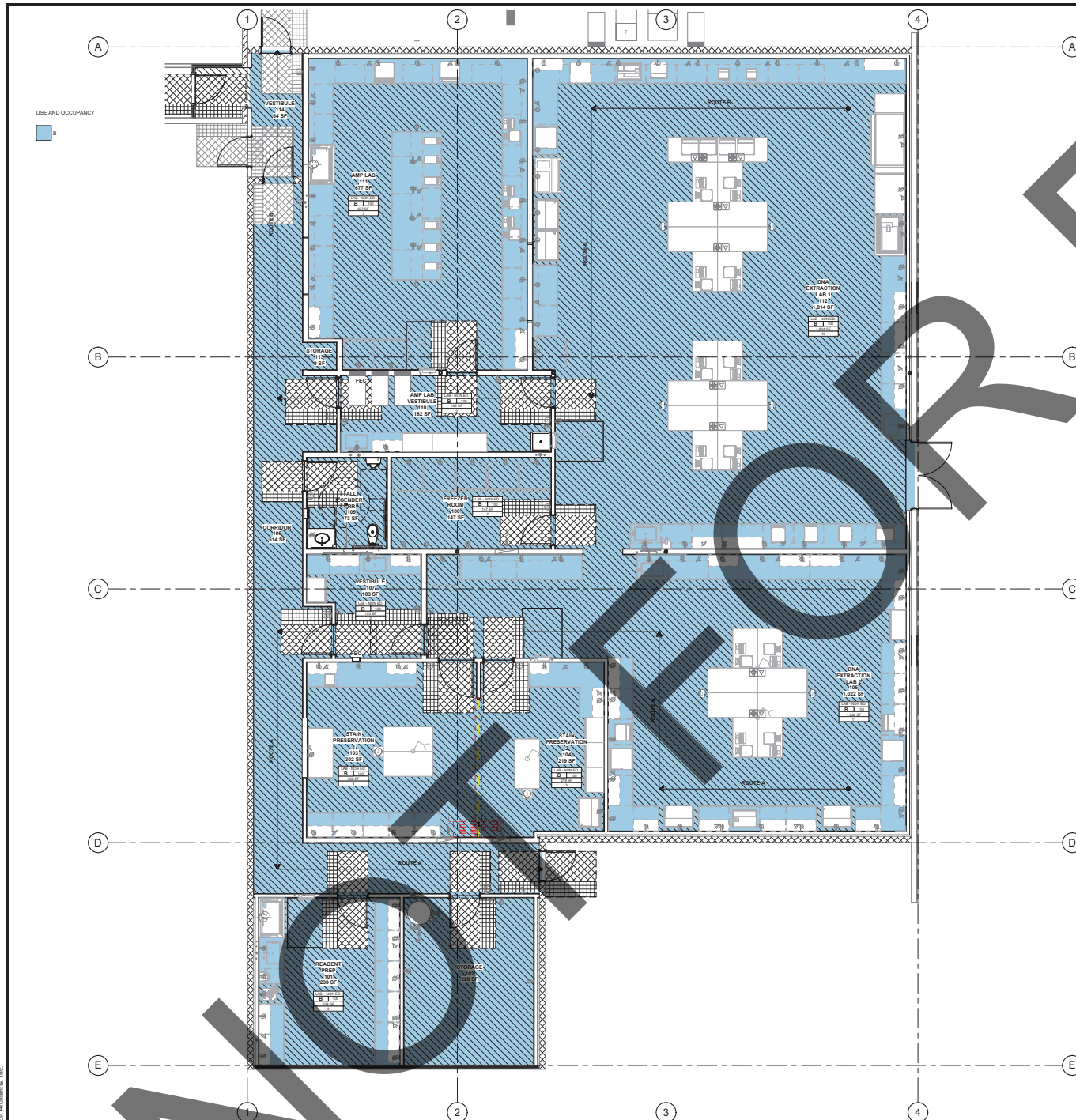


IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
		EXIT SIGN	
		(2) WALL TO REMAIN	
		(3) 4-IN. RATED WALL TO REMAIN	
		(4) IRIGATED WALL	REFER TO ADD. WALL SCHEDULE
		FR - CALL/READER	REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION
		RECESSED FIRE EXTINGUISHER CABINET	REFER TO XXXX
		EGRESS ROUTE	

OCCUPANCY GENERAL NOTES

PUR SECTION 303.1.2, SMALL ASSEMBLY SPACES, A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN FIFTY AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

SQUARE FOOTAGES SHOWN ON SCHEDULE ARE USABLE AREA.

BUILDINGS AND SITE SHALL BE ACCESSIBLE PER TDA COR. SIGNAGE SHALL BE PROVIDED USING THE INTERNATIONAL SYMBOL OF ACCESS. ELEVATOR IN FEDERAL STAIRWELL AREAS REQUIRED ALONG ACCESSIBLE ROUTES TO PLACED ASSESSMENTS. SIGNAGE SHALL ALSO BE INCLUDED AT EACH ENTRANCE TO BUILDING ENTRANCE. REFERENCE TO OTHER AREAS SHALL BE CLEAR.

FIRE EXTINGUISHERS SHALL BE PLACED AS REQUIRED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL BE PLACED IN FIRE EXTINGUISHER CABINETS. INSTALL PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 704-2016 IN RATING. CABINETS SHALL BE SURFACE MOUNTED OR RECESS-CEILING PER TDA.

FOR BUILDING CALCULATED LOAD CALCULATIONS REFER TO G600.

FOR CODE ANALYSIS INFORMATION REFER TO G501.

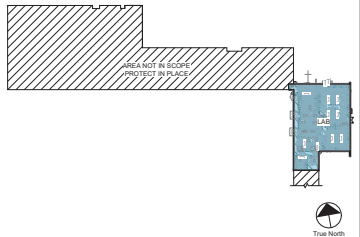
FOR ALL BUILDING ACCESSIBILITY DETAILS REFER TO A600 AND A501.

FOR EMERGENCY LIGHTING LOCATIONS, REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.

OCCUPANCY PLAN KEYNOTES

NOT USED

KEY PLAN



 HOLT ARCHITECTURE		
BARRY COOK, AIA, SITE 103 10300 MARKET ST., STE. 400 PALM DESERT, CA 92211 RIVERSIDE, CA 92504 PH: 760.328.0280 PH: 951.482.1403		
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CONSULTANT:		
STAMPS:		
		
SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL		
200 SOUTH LENA RD. SAN BERNARDINO, CA		
PRODUCT:		
CLIENT:		
COUNTY OF SAN BERNARDINO		
		
MARK DATE DESCRIPTION		
BS-2024 PC RD 1 SUBMITTAL		
PROJECT NO.: SBC-002		
SHEET TITLE:		
OCCUPANCY PLAN - LAB		
SHEET NO:		
G100		

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1 SIGNAGE PLAN - LAB
1/4" = 1'-0"



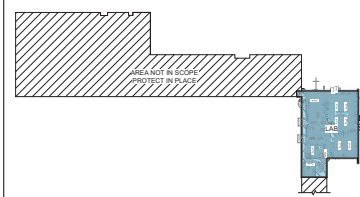
SIGNAGE PLAN LEGEND

- | | | |
|---------|--|---|
| NO USED | | INTERNATIONAL SYMBOL OF ACCESSIBILITY
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE EXIT SIGN TO READ "EXIT"
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE EXIT SIGN TO READ "TO EXIT"
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE EXIT SIGN TO READ "EXIT ROUTE"
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE ROOM IDENTIFICATION SIGN
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE RESTROOM SIGN - WOMEN'S
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE RESTROOM SIGN - MEN'S
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE RESTROOM SIGN - ALL GENDER
REFER TO DETAIL 1AAS01 |
| NO USED | | DOOR MOUNTED RESTROOM SIGN - WOMEN'S
REFER TO DETAIL 1AAS01 |
| NO USED | | DOOR MOUNTED RESTROOM SIGN - MEN'S
REFER TO DETAIL 1AAS01 |
| NO USED | | DOOR MOUNTED RESTROOM SIGN - ALL GENDER
REFER TO DETAIL 1AAS01 |
| NO USED | | TACTILE BABY CHANGING STATION SIGN
REFER TO DETAIL 4AAS01 |
| NO USED | | "EVACUATION ROUTE" SIGNFRAME
REFER TO DETAIL 1AAS01 |
| NO USED | | MAXIMUM OCCUPANCY SIGN
REFER TO DETAIL 1AAS01 |
| NO USED | | NO SMOKING SIGN
REFER TO DETAIL 12AAS01 |
| NO USED | | ASSISTIVE LISTENING SYSTEM SIGN
REFER TO DETAIL 14AAS01 |
| NO USED | | MAIN EXIT DOOR SIGN
REFER TO DETAIL 15AAS01 |

SIGNAGE GENERAL NOTES

- ALL SIGNAGE SHALL COMPLY WITH ALL CURRENT GOVERNING CODERS.
- CONTRACTOR TO PROVIDE ADHESIVE MOUNTING SYSTEM WHEN SIGNAGE IS REQUIRED TO BE MOUNTED ON GLAZING.
- CONTRACTOR TO PROVIDE BLANK COVER PLATE, TO BE MOUNTED ON THE OPPOSITE SIDE OF GLAZING, TO COVER ADHESIVE MOUNTING SYSTEM.
- CONTRACTOR TO PROVIDE 3-WAY FIRE EXTINGUISHER SIGNAGE AT ALL FIRE EXTINGUISHER LOCATIONS. REFER TO DETAIL 13AAS01.
- CONTRACTOR TO PROVIDE ALL REQUIRED BUILDING EVACUATION SIGNS INCLUDING LOCATION SPECIFIC EVACUATION SIGNS PROVIDING INFORMATION SUCH AS BUT NOT LIMITED TO: PATHS OF EGRESS FROM SIGN LOCATION IN BUILDING, TO NEAREST EXITS, EXIT STAIR IDENTIFICATION, EXIT IDENTIFICATION, ETC. CONTRACTOR TO PROVIDE PROJECT SPECIFIC EVACUATION SIGN INSERTS IN SIGNAGE SUBMITTAL FOR REVIEW AND APPROVAL BY THE ARCHITECT. REFER TO SIGNAGE DETAILS ON SHEET A002 FOR ALL MOUNTING HEIGHTS AND ADDITIONAL INFORMATION.

KEY PLAN



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CONSULTANT:

STAMPS:

**SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL**

COUNTY OF SAN BERNARDINO
SAN BERNARDINO COUNTY

PROJECT NO.: 08C.002

SHEET TITLE:
SIGNAGE PLAN - LAB

SHEET NO.:
G102

ENGINEER'S GENERAL NOTES:

1. ALL WORK PERFORMED IN THIS CONTRACT SHALL CONFORM TO:
 - A. PROJECT SPECIFICATIONS.
 - B. ALL SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SPSWC) AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
 - C. THE COUNTY OF SAN BERNARDINO STANDARDS AND SPECIFICATIONS.
2. 2022 CALIFORNIA BUILDING CODE.
3. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK SPECIFIED ON THE DRAWINGS AND THE VARIOUS NOTICES SHOWN HEREON.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES IN THE AREA OF WORK WHICH ARE NOT INCLUDED IN THIS CONSTRUCTION. ANY DAMAGE RESULTING FROM THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE COUNTY.
5. **PROTECTION AND RESTORATION OF EXISTING IMPROVEMENTS:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE UTILITY ADJACENT TO THE WORK PER SECTION 7-9 OF THE STANDARD SPECIFICATIONS.
6. **UNDERGROUND SERVICE ALERT:**

BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT INQUIRY ID NUMBER BY CALLING 1-800-424-2213. TWO (2) DAYS BEFORE THE START OF ANY EXCAVATION, THE CONTRACTOR MUST OBTAIN AND FURNISH THE EXCAVATION AGENCY'S STARTED THAT UTILITY OWNERS CAN BE NOTICED.
7. **REMOVALS:**

EXISTING FACILITIES WHICH ARE DISCOVERED DURING CONSTRUCTION INCLUDING WALLS, FOOTINGS AND FOUNDATIONS SHALL BE REPORTED TO AND COORDINATED WITH THE COUNTY AS TO THEIR REMOVAL. CONTRACTOR WILL NOTIFY THE COUNTY IN WRITING PRIOR TO REMOVING ANY EXISTING FACILITIES.

ALL SITE PREPARATION AS REQUIRED SHALL BE MADE UNDER THE INSPECTION OF THE INSPECTOR OF RECORD (IOR). SECURED THE REQUIRED PERMIT FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (CDIR) FOR ALL EXCAVATIONS, SHORING OR EXCAVATIONS WHICH ARE 5 FEET OR DEEPER OR WORK THAT MAY JEOPARDIZE THE WORKERS. SHORING CALCULATIONS SHALL BE PROVIDED AS REQUIRED FOR APPROVAL AND RETENTION OF PERMITS.
8. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY WORK ACTIVITIES AS REQUIRED BY THE COUNTY.
9. CONSTRUCTION STAKES AND ADJUSTMENTS FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR PAID FOR BY THE CONTRACTOR.
10. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION FENCING, APPURTENANCES AND OFFICE TRAILERS FROM THE SITE. PAYMENT SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT PAVEMENT AND APPROVED FOR CPM OF THE COUNTY.
11. ANY ADDITIONAL SURVEYS OR TESTING AS A RESULT OF CONTRACTOR ERROR OR MISFORMATION WILL BE CHARGED TO THE CONTRACTOR.
12. CONSTRUCT STRAIGHT GRADES BETWEEN ELEVATIONS SHOWN ON PLAN UNLESS INTERRUPTED BY A GRADE CHANGE LINE. ANY DEVIATION FROM THE GRADING PLAN MUST HAVE PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
13. GRADE LAWN, TURF, AND PLANTING AREA 1:1/2 BELOW DESIGN GRADES INDICATED.
14. MAINTAIN A RECORD OF LOCATION OF UTILITY MARKERS ON THE "AS-BUILT" PLAN AND REINSTALL THEM AFTER PAVING. REPLACE BENT OR UNSAFE MARKERS FOR ALL UTILITY LINES DISCOVERED WITHIN THE WORK AREA. INSTALL BRASS UTILITY MARKERS INDICATING THE LOCATION OF ALL UTILITIES IN DIRECTIONS AFTER PAVING. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL LOCATIONS.
15. IF EXISTING UTILITIES ARE EXPOSED OR DETERMINED TO EXIST UNDER THE ROUGH GRADING SITE, CONTRACTOR SHALL PROVIDE A FLAGGED STATE THAT INDICATES THEIR LOCATION. UTILITY LOCATIONS SHALL BE IDENTIFIED BY A FLAGGED STATE SHALL BE NOT LESS THAN 5' ON CENTER ON STRAIGHT LINES AND AT BENDS.
16. UNCLOG, CLEAN AND FLUSH THE WORK AREA DRAINAGE SYSTEM AFTER PAVING AND IMMEDIATELY BEFORE A RAIN FORECAST.
17. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBMIT TO THE COUNTY A COPY OF THE FINISHED GRADE AND LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
18. EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY INSPECTOR OF RECORD OR A LEGAL DUMPSTER. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL AND RECEIPTS ARE REQUIRED AND MUST BE SUBMITTED TO THE INSPECTOR OF RECORD.
19. A COPY OF THE APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
20. CONTRACTOR SHALL OBTAIN AND FILE ALL REQUIRED PERMITS. FROM THE APPROPRIATE AGENCIES AND AGENCY AND DISCUSS THE NECESSARY ACTIONS TO TAKE FOR THE MEANS NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE COUNTY WITH A COMPLETE SET OF REDUCIBLE "AS-BUILT" DRAWINGS OF ALL WORK PERFORMED UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ALL FIELD CHANGES SHALL BE SHOWN IN DETAIL ON THE "AS-BUILT" DRAWINGS AND SHALL BE SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL. THE "AS-BUILT" DRAWINGS SHALL INCLUDE UNDERGROUND FACILITIES WITH DIMENSIONAL TIES TO BUILDINGS OR OTHER VISIBLE IMPROVEMENTS.
22. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SAFETY AND HEALTH AND DISCUSS THE NECESSARY ACTIONS TO TAKE FOR THE MEANS OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY TO ALL EMPLOYEES AND SHALL BE REQUIRED AND MUST BE SUBMITTED TO THE INSPECTOR OF RECORD.
23. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.58) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION, THE CONTRACTOR SHALL STOP ALL WORK IMMEDIATELY AND ADVISE THE COUNTY IMMEDIATELY. THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY HUMAN REMAINS, SHALL OCCUR UNTIL ADVISED BY THE COUNTY. THE FOLLOWING MEASURES HAVE BEEN TAKEN:
 - A. THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED AND
 - B. IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DISCLOSED NATIVE AMERICANS HAVE BEEN ADVISED AND REQUESTED FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
24. CONTRACTOR SHALL INSTALL TEMPORARY FENCING ALONG THE PERIMETER OF THE CONSTRUCTION AREA. THE FENCING SHALL BE 5 FEET HIGH AND 1/2" GALVANIZED STEEL AND SHALL HAVE A DIVISION BARRIER ALONG THE FULL LENGTH OF THE DIVISION. THE FENCING SHALL BE 1/2" GALVANIZED STEEL AND SHALL HAVE A DIVISION BARRIER ALONG THE FULL LENGTH OF THE DIVISION. THE FENCING SHALL BE DRIVEN INTO THE GROUND AND SHALL BE ABLE TO WITHSTAND A 20 LB. HORIZONTAL POINT LOAD IN ANY DIRECTION PER WIND LOAD DUE TO DISTURBED SOIL. FENCING SHALL BE INSTALLED AT ALL CORNERS AND AT ALL INTERSECTIONS. THE GROUND, FENCE STANDS WILL NOT BE ALLOWED. WORK AREA AND STAGING AREA SHALL BE SECURED AT ALL TIMES.
25. UTILITIES TO BE VERIFIED IN FIELD TO ENSURE THEY ARE SERVING FAULT SECTIONS OF THE ROADWAY. RELOCATION IF REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ABANDONED EXISTING UTILITIES. UTILITY OWNERS OF THESE ABOVE-MENTIONED UTILITIES SHALL BE NOTIFIED AND THE ORDER SHALL BE NO MORE THAN 30 DAYS PRIOR TO START OF REMOVAL.

- ALL WORK PERFORMED IN THIS CONTRACT SHALL CONFORM TO:**
- A. PROJECT SPECIFICATIONS.
 - B. ALL SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SPSWC) AND ASSOCIATED ENGINEERING MANUALS SHOWING ANY CHANGES THEREIN.
 - C. THE COUNTY OF SAN BERNARDINO STANDARDS AND SPECIFICATIONS.
 - D. 2022 CALIFORNIA BUILDING CODE.
2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK SPECIFIED ON THE DRAWINGS AND THE REQUIREMENTS OF THE SPECIFICATIONS. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN THE AREA OF WORK WHICH ARE NOT INCLUDED IN THIS CONSTRUCTION. ANY DAMAGE RESULTING FROM THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE COUNTY.
- PROTECTION AND RESTORATION OF EXISTING IMPROVEMENTS:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE UTILITY ADJACENT TO THE WORK PER SECTION 7-6 OF THE STANDARD SPECIFICATIONS.
- UNDERGROUND SERVICE ALERT:**
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT INQUIRY ID NUMBER BY CALLING 1-800-424-2233. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE ID NUMBER IS OBTAINED BEFORE THE EXCAVATION WORKERS STARTED THAT UTILITY OWNERS CAN BE NOTIFIED.
- REMOVALS**
- EXISTING FACILITIES WHICH ARE DISCOVERED DURING CONSTRUCTION INCLUDING WALLS, FOOTINGS AND FOUNDATIONS SHALL BE REPORTED TO AND COORDINATED WITH THE COUNTY AS TO THEIR REMOVAL. CONTRACTOR WILL NOTIFY THE COUNTY IN WRITING PRIOR TO ANY REMOVAL OF EXISTING STRUCTURES.
7. ALL SITE PREPARATION AS DESCRIBED SHALL BE MADE UNDER THE INSPECTION OF THE INSPECTOR OF RECORD (H) REQUIRED. SHE MUST OBTAIN THE NECESSARY PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION OF TRENCHES, SHORING OR BRACING WHICH MAY ARISE. SHE MUST PROVIDE A WRITTEN STATEMENT TO THE WORKERS SHOWING CALCULATIONS SHALL BE PROVIDED AS REQUIRED FOR APPROVAL.
8. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY WORK ACTIVITIES AS REQUIRED BY THE COUNTY.
9. CONSTRUCTION STAKING AND ADJUSTMENTS FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR PAID FOR BY THE CONTRACTOR. THE SURVEYOR SHALL INCLUDE IN HIS BILLING THE FOLLOWING:
10. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION FENCING, APPURTENANCES AND OFFICE TRAILERS FROM THE SITE. PAVED SURFACES SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT PAVEMENT AND APPROVED ASPHALT TYPE.
11. ANY ADDITIONAL SURVEYS OR TESTING AS A RESULT OF CONTRACTOR ERROR OR MISFORMATION WILL BE CHARGED TO THE CONTRACTOR.
12. CONSTRUCT STRAIGHT GRADES BETWEEN ELEVATIONS SHOWN ON PLAN UNLESS INTERRUPTED BY A GRADE CHANGE LINE. ANY DEVIATION FROM THE GRADING PLAN MUST BE APPROVED BY THE INSPECTOR OF RECORD.
13. GRADE LAWN, TURF, AND PLANTING AREA 1:1/2 BELOW DESIGN GRADES INDICATED.
14. MAINTAIN A RECORD OF LOCATION OF UTILITY MARKERS ON THE AS-BUILT PLAN AND REINSTALL THEM AFTER PAVING. REPLACE BENT OR UNSAFE MARKERS FOR ALL UTILITY LINES DISCOVERED WITHIN THE WORK AREA. INSTALL BRASS UTILITY MARKERS INDICATING LOCATIONS OF ALL UTILITY LINES. MAKE CORRECTIONS IN DIRECTIONS AFTER PAVING. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL UTILATIONS.
15. IF EXISTING UTILITIES ARE EXPOSED OR DETERMINED TO EXIST UNDER THE ROUGH GRADING SITE, CONTRACTOR SHALL PROVIDE A FLAGGED STATE THAT INDICATES THEIR LOCATION. UTILITY LINES SHALL BE COVERED WITHIN 24 HOURS AFTER STATES ARE IDENTIFIED NOT LESS THAN 5' ON CENTER ON STRAIGHT LINES AND AT BENDS.
16. UNLOAD, CLEAN AND FLUSH THE WORK AREA DRAGLINE SYSTEM AFTER PAVING AND IMMEDIATELY BEFORE A RAIN FORECAST.
17. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBMIT TO THE COUNTY A RECORD OF THE EXISTING AND LOCAL LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
18. EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY INSPECTOR OF RECORD OR A LEGAL DUMPSTER. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL SHALL BE SUBMITTED TO THE COUNTY. THE CONTRACTOR SHALL MAINTAIN A RECORD OF RECORD.
19. A COPY OF THE APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
20. CONTRACTOR SHALL OBTAIN AND FILE ALL REQUIRED PERMITS. FROM THE APPROPRIATE AGENCIES AND JURISDICTIONS FOR DISCUSSING THE CONSTRUCTION. IT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE COUNTY WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF ALL WORK PERFORMED UNDER THIS CONTRACT. THE "AS-BUILT" DRAWINGS OF THE CONSTRUCTION DRAWINGS ALREADY FIELD CHANGED SHALL BE SHOWN IN DETAIL ON THE "AS-BUILT" DRAWINGS AND SHALL REFLECT ALL CHANGES TO MINIMUM DIMENSIONS. THE "AS-BUILT" DRAWINGS SHALL SHOW UNDERGROUND FACILITIES WITH DIMENSIONAL TIES TO BUILDINGS OR OTHER VISIBLE IMPROVEMENTS.
22. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE SAFETY AND THE SAFETY OF ALL PERSONS AND PROPERTY. DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY THROUGHOUT THE ENTIRE PROJECT.
23. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.58) AND HEALTH AND SAFETY CODE (SECTION 70550.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION, THE HUMAN REMAINS SHOULD BE IMMEDIATELY REPORTED TO THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
24. CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND THE PERIMETER OF THE SITE, WITH SIGNAGE AND LIGHTS TO PROTECT THE SITE FROM PEDESTRIAN AND VEHICLE TRAFFIC AND SHALL HAVE A DUTYSTATION BARBER ALONG THE FULL LENGTH OF THE DUTYSTATION FENCING. THE CONTRACTOR SHALL MAINTAIN THE FENCING AT ALL TIMES. FENCING SHALL BE DRIVEN INTO THE GROUND TO A MINIMUM OF 18" TO WITHSTAND A 200 LB. HORIZONTAL POINT LOAD IN ANY DIRECTION PER WIND LOAD DUE TO DISTURBANCE. FENCING SHALL BE MAINTAINED AT ALL TIMES. FENCING SHALL BE MAINTAINED AT ALL TIMES. GROUND FENCE STANCHIONS SHALL NOT BE ALLOWED. WORK AREA AND STAGING AREA SHALL BE SECURED AT ALL TIMES.
25. UTILITIES TO BE REMOVED IN FIELD TO ENSURE ACCESS TO SERVING AREAS FOR THE REMOVAL, COORDINATION OF RELOCATION IF REQUIRED, AND INTERFERE WITH SECTIONS OF ALL ABANDONED EXISTING UTILITIES. UTILITY OWNERS OF THESE ABOVE-MENTIONED UTILITIES SHALL BE NOTIFIED AND THE ORDER SHALL BE NO LATER THAN WORKING HOURS PRIOR TO START OF REMOVAL.

COUNTY GENERAL NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST CALIFORNIA BUILDING CODE AND ALL CHAPTERS 17, 18, APPENDIX A AND ALL APPLICABLE SECTIONS.
- A GRADING PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON THE SITE.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER REGULATORY AGENCIES WITH REGULATOR RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED IN THIS PLAN.
- ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROJECT AREA; A SEPARATE CONSTRUCTION INCARCATION OR ENCRICHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS MAY BE REQUIRED FOR ANY WORK WITHIN THE COUNTY OFF-ROADWAY.
- APPROVAL OF THESE PLANS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL A VALID GRADING PERMIT HAS BEEN ISSUED.
- THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE DESIGN OF STRUCTURES OR FOR DETERMINING REQUIREMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT STRUTTUREL SECTIONS OR LAYOUT, OR OTHER STRUCTUREL REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFFSETS, DRAINAGE SYSTEMS OR OTHER DETAILS THAT ARE RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ONSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE APPROVED BUILDING PERMIT PLANS. ONSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
- MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL) AND MAXIMUM VERTICAL HEIGHT = 30 FEET, UNLESS AN APPROVED GEOTECHNICAL REPORT JUSTIFY A STEEPER AND TALLER SLOPE.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNLT THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS,TOPSOIL, AND OTHER DELECTERIAL MATERIAL.
- FILL SLOPES SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION, OR AS RECOMMENDED ON THE APPROVED GEOTECHNICAL REPORT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL STRUCTURAL COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADDS AND ON ALL FILLSLOPES.
- EARTHWORK VOLUMES:
CUB YD (CY), TOTAL DISTURBED AREA 42,429 (SF)
- EARTHWOK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND SAN BERNARDINO COUNTY IS NOT RESPONSIBLE FOR THEIR ACCURY.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE IF GRADING OPERATIONS DAMAGE OR REMOVE THEM AFTER THE START DATE WHEN THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT A SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- FOR SITES WITH PROTECTED SPECIES OR TREES, THE PROPOSED GRADING MAY BE SUBJECT TO A SEPARATE PERMIT.
- ADEQUATE FIRE ACCESS ABOVEFROM BUILDINGS (INCLUDING GARAGES) SHOULD BE PROVIDED AS APPROVED BY COUNTY FIRE.
- EXISTING DRAINAGE COURSES SHALL NOT BE OBSTRUCTED, ALTERED, OR DIVERTED WITHOUT PRIOR APPROVAL FROM THE JUDICIAL OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION. A STREAMAAlteration Agreement may also be required from the CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE.
- DRAINAGE EASEMENTS SHALL NOT BE OBSTRUCTED, ALTERED OR DIVERTED WITHOUT PRIOR APPROVAL OF THE COUNTY OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION.
- A FINAL GRADING CERTIFICATION WILL BE COLLECTED BY THE GRADING INSPECTOR AT THE FINAL BUILDING INSPECTION OR PRIOR TO A BUILDING FINAL STATUS ON THE PERMIT. THE FINAL GRADING CERTIFICATION IS TO BE COMPLETED BY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL IMPLEMENT PREVENTIVE MEASURES TO ASSURE THAT NO ROCKS, SOIL, CLUMTS, OR DEBRIS OF ANY FORM SHALL FALL, SLIDE OR FLOAT INTO ADJOINING ROADS OR PUBLIC WAY SHALL VERBLE LOADS SHALL BE TRIMMED AND WATERED OR OTHERWISE SECURED TO PREVENT SPILLAGE FROM THE EQUIPMENT.
- ALL EXPORT AND IMPORT OF MATERIAL OVER DEDICATED AND IMPROVED PAVED HIGHWAYS AND INTERSTICES SHALL BE CONDUCTED IN ACCORDANCE WITH ALL RESPECTS TO THE STATE VEHICLE CODE, REPAIR AND ANNUALLY DEMONSTRATED IMPROVED STREETS SHALL BE MADE TO THE SATISFACTION OF THE BUILDING OFFICIAL, AND IS THE RESPONSIBILITY OF THE OWNER, PERMITTEE, AND THE GRADING CONTRACTOR.
- ALL GRADING SHALL COMPLY WITH SBDC DEVELOPMENT CODE SECTION 6.03.02(C)(1). IF FILL IS PLACED TO ELEVATE PADS ABOVE BASE ELEVATION, IT MUST BE SUBCONSULTED THAT FILL WILL NOT SETTLE AND IS PROTECTED FROM EROSION, SCOUR, OR DIFFERENTIAL SETTLING, AS FOLLOWING.
 - FILL SHALL BE COMPACTED TO 95 PERCENT PER ASTM (AMERICAN SOCIETY OF TESTING MATERIALS) STANDARD D-698.
- FILL SLOPES SHALL NOT STEEPER THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL RATIO. WHERE NECESSARY DATA FOR STEEPER SLOPES IS PROVIDED, AND THE SLOPES ARE APPROVED BY THE COUNTY.
- 100 PERCENT OF TREES, SHRUBS, ROOTS AND ASSOCIATED VEGETATION AND SOLS RESULTING FROMBARELAND LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A NEEDED REUSE, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

- ALL GRADING SHALL CONFORM TO THE LATEST CALIFORNIA BUILDING CODE AND ALL APPLICABLE CHAPTERS 17, 18, APPENDIX X AND ALL APPLICABLE SECTIONS.
- A GRADING PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON THE SITE.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER REGULATORY AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED IN THIS PLAN.
- ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROJECT AREA. A SEPARATE CONSTRUCTION EROSION CONTROL OR ENCRICHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS MAY BE REQUIRED FOR ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY.
- APPROVAL OF THESE PLANS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL A VALID GRADING PERMIT HAS BEEN ISSUED.
- THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ONSITE OR OFFSITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LOCATIONS, SECTION CUTS OR LAIDOUT, OR UNRELATED STRUCTURES, BUILDING FOUNDATIONS OR FOUNDATIONS, WALLS, CURBING, OFFSETS, DRAINAGE OR OTHER RELATED ITEMS THAT ARE RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ONSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE APPROVED BUILDING PERMIT PLANS. OFFSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
- MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL) AND MAXIMUM VERTICAL HEIGHT + 30 FEET, UNLESS AN APPROVED GEOTECHNICAL REPORT IS JUSTIFY A STEEPER AND TALLER SLOPE.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNLIT. THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
- FILL SLOPES SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION, OR AS RECOMMENDED ON THE APPROVED GEOTECHNICAL REPORT.
- IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTATION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADDS AND ON ALL FILLSLOPES.
- EARTHWORK VOLUMES:
FILL: 121,632 CU YD
TOTAL DISTURBED AREA 422,000 (SF)
- EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND SAN BERNARDINO COUNTY IS NOT RESPONSIBLE FOR THEIR ACCURY.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- ANY WELLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR REMOVE SUCH FEATURES BY EQUIPMENT, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR MAKING UP OR THE ACQUISITION OF A SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- FOR SITES WITH PROTECTED SPECIES OR TREES, THE PROPOSED GRADING MAY BE SUBJECT TO A SEPARATE PERMIT.
- ADEQUATE FIRE ACCESS AROUND BUILDINGS (INCLUDING GARAGES) SHOULD BE PROVIDED AS APPROVED BY COUNTY FIRE.
- EXISTING DRAINAGE COURSES SHALL NOT BE OBSTRUCTED, ALTERED, OR DIVERTED WITHOUT PRIOR APPROVAL FROM THE COUNTY OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION. A CALIFORNIA ALTERATION AGREEMENT MAY ALSO BE REQUIRED FROM THE STATE OF CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE.
- DRAINAGE EASEMENTS SHALL NOT BE OBSTRUCTED, ALTERED OR DIVERTED WITHOUT PRIOR APPROVAL OF THE COUNTY OF SAN BERNARDINO, LAND DEVELOPMENT DIVISION.
- A FINAL GRADING CERTIFICATION WILL BE COLLECTED BY THE BUILDING INSPECTOR AT THE FINAL BUILDING INSPECTION OR PRIOR TO A GRADING FINAL STATUS ON THE PERMIT. THE FINAL GRADING CERTIFICATION IS TO BE COMPLETED BY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL IMPLEMENT PREVENTIVE MEASURES TO ASSURE THAT NO ROCKS, SOILS, TREES OR DEBRIS OF ANY FORM SHALL FALL, SLIDE OR FLOAT INTO ADJOINING PROPERTIES OR PUBLIC WAY SHALL VERIFIABLE LOADS SHALL BE TRUMMED AND WATERED OR OTHERWISE SECURED TO PREVENT SPILLAGE FROM THE EQUIPMENT.
- ALL EXPORT AND IMPORT OF MATERIAL OVER DEDICATED AND IMPROVED PAVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA COMPLEXES IN ALL RESPECTS TO THE STATE VEHICLE CODE. REPAIR TO ANADDEDY DAMAGED OR IMPROVED STREETS SHALL BE MADE TO THE SATISFACTION OF THE BUILDING OFFICIAL, AND THE RESPONSIBILITY OF THE COMPANY, PERMITTEE, AND THE GRADING CONTRACTOR.
- ALL GRADING SHALL COMPLY WITH 880 DEVELOPMENT CODE SECTION 22.02.02(C). FILL IS TO BE PLACED TO ELEVATE PADS ABOVE BASE ELEVATION, IT MUST BE DISCLOSED THAT FILL WILL NOT SETTLE AND IS PRONE TO SHRINK FROM FREEZING, SCOUR, OR DIFFERENTIAL SETTLEMENT, AS FOLLOWING:
- FILL SHALL BE COMPACTED TO 95 PERCENT PER ASTM (AMERICAN SOCIETY OF TESTING MATERIALS) STANDARD D-698.
- FILL SLOPES SHALL NOT STEEPER THAN TWO FOOT VERTICAL TO ONE FOOT HORIZONTAL RATIO. SUBSTANTIATING DATA FOR STEEPER SLOPES IS PROVIDED, AND THE SLOPES ARE APPROVED BY THE COUNTY.
- 100 PERCENT OF TREES, STUMP, ROOTS AND ASSOCIATED VEGETATION AND SOLS RESULTING FROM REMOVAL FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PALM TREE PROJECT, SUCH MATERIAL MAY BE STOCKPOILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

CENTER LINE -----

CONTOUR LINE ----- 1567 -----
1566 -----

PILLAR/BUILDING -----

AC	ASPHALT CONCRETE
BS	BLUE STRIPE
C/C	CONCRETE
CL	CENTERLINE
CRS	CAR STOP
EC	EDGE OF CONCRETE
EJ	EXPANSION JOINT
GB	GRADE BREAK
GRD	GROUND
FF	FINISH FLOOR
FP	FLAG POLE
FS	FINISH SURFACE
HCS	HANDICAP SIGN
ICV	IRRIGATION CONTROL VALVE
RD	ROOF DRAIN
SV	SEWER VALVE
TC	TOP CURB
TH	THRESHOLD
WS	WHITE STRIPE

CONSTRUCT 4" THICK CONCRETE PAVEMENT
OVER 4" CRUSHED AGGREGATE BASE PER DETAIL
1 ON SHEET C-3.0.

INSTALL NEW TRUNCATED DOWNS PER DETAIL 4 ON
SHEET C-3.0.

REMOVE EXISTING CONCRETE PAVEMENT
AND BASE MATERIAL, FULL DEPTH.

CLEAR, GRUB AND REMOVE EXISTING
TURF/PLANTER/SHRUBS/EXPOSED SUBGRADE
AREA. REMOVE EXISTING SHRUBS AND ROOTS IN
THEIR ENTIRETY.

LIMIT OF REMOVAL

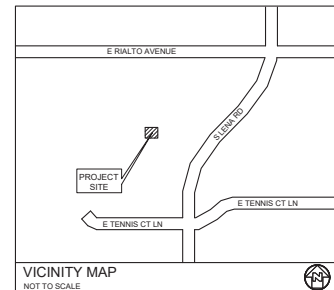


SHEET NO.	DESCRIPTION
C-1.0	GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX
C-2.0	SITE DEMOLITION PLAN, SITE CONTROL PLAN, SITE GRADING PLAN
C-3.0	MISCELLANEOUS DETAILS

SURVEY PERFORMED BY: FLORENTINO FERRER
FERRER AND ASSOCIATES
LAND SURVEYORS AND ENGINEERS
(626)437-0038, FAX (626)270-4424
16366 COLIMA ROAD, UNIT 206-L
HACIENDA HEIGHTS, CA 91745

THE VERTICAL BASIS FOR THIS SURVEY IS A TEMPORARY BENCHMARK
PK NAIL ON NAIL ON WHITE STRIPE END.
ELEVATION = 100.00'

THE HORIZONTAL BASIS FOR THIS SURVEY IS N. 89° 21'10" E. ON R.I. AVENUE PER PARCEL MAP 10680 IN THE CITY OF SAN BERNARDINO COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.



CONSULTANT:

STAMPS:



**SAN BERNARDINO COUNTY
SHERIFF'S CRIME LAB**
200 SOUTH LENA RD.
SAN BERNARDINO, CA

PROJECT:

SAN BERNARDINO COUNTY

CLIENT:

[illegible]

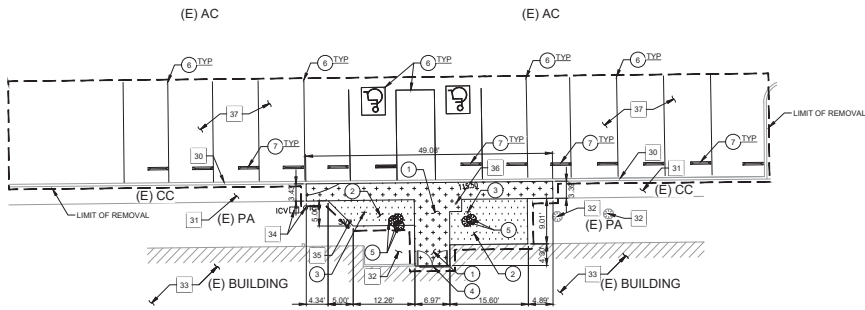
PROJECT NO.: SBC.002

SHEET TITLE:

GENERAL NOTES, ABBREVIATIONS, LEGENDS, AND SHEET INDEX

SHEET NO.:

C-1.0



SHEET NOTES:

- FOR GENERAL NOTES, LEGENDS AND ABBREVIATIONS, SEE SHEET C-1.0.
- SEE ARCHITECTURAL DRAWINGS FOR OTHER SITE RELATED DIMENSIONS NOT SHOWN ON THIS DRAWING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND SURFACE AND/OR UNDERGROUND UTILITIES IN CONFLICT WITH THE PROPOSED DEMOLITION AND DESIGN ITEMS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONSTRUCTION RELATED ISSUES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO VERIFY IN FIELD THE JOINING TO EXISTING ELEVATION AND THE CURRENT SITE CONDITION WITH THE DESIGN GRADES. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO DEMO HARDSCAPE TO NEAREST JOINT.

REMOVAL NOTES:

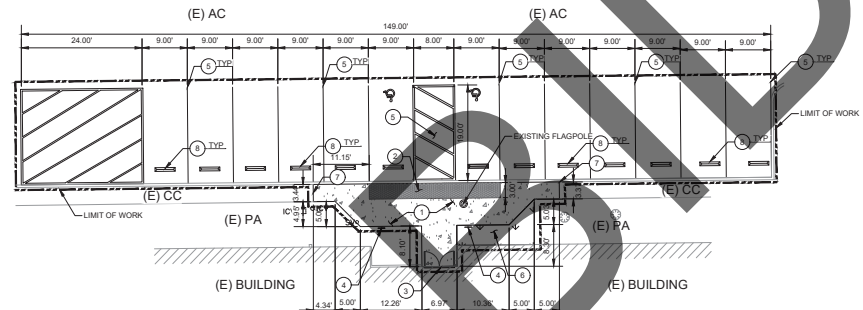
- REMOVE EXISTING CONCRETE PAVEMENT AND BASE MATERIAL, FULL DEPTH.
- CLEAR, GRUB AND REMOVE EXISTING TURF/PLANTERS/SHRUBS/EXPOSED SUBGRADE AREA. REMOVE EXISTING SHRUBS AND ROOTS IN THEIR ENTIRETY.
- REMOVE EXISTING SIGN, POST AND FOOTING IN ITS ENTIRETY.
- REMOVE EXISTING NON-COMPLIANT THRESHOLD HARDWARE PER ARCHITECTURAL DRAWINGS.
- REMOVE EXISTING TREE PER ARCHITECTURAL DRAWINGS.
- REMOVE EXISTING STRIPING IN ITS ENTIRETY.
- REMOVE EXISTING WHEEL STOP IN ITS ENTIRETY.

REMOVAL LEGEND:

- REMOVE EXISTING CONCRETE PAVEMENT AND BASE MATERIAL, FULL DEPTH.
- CLEAR, GRUB AND REMOVE EXISTING TURF/PLANTERS/SHRUBS/EXPOSED SUBGRADE AREA. REMOVE EXISTING SHRUBS AND ROOTS IN THEIR ENTIRETY.
- LIMIT OF REMOVAL

PROTECT-IN-PLACE NOTES:

- PROTECT IN PLACE EXISTING CONCRETE CURB IN ITS ENTIRETY.
- PROTECT IN PLACE EXISTING CONCRETE PAVEMENT IN ITS ENTIRETY.
- PROTECT IN PLACE EXISTING TREES, SHRUBS, SOD, ETC.
- PROTECT IN PLACE EXISTING BUILDING, FOOTING AND ALL APPURTENANCES IN ITS ENTIRETY.
- PROTECT IN PLACE EXISTING IRRIGATION CONTROL VALVE IN ITS ENTIRETY.
- PROTECT IN PLACE EXISTING SEWER CLEANOUT IN ITS ENTIRETY. ADJUST TO NEW DESIGN GRADES AS NEEDED.
- PROTECT IN PLACE EXISTING FLAG POLE, BASE AND FOOTING IN ITS ENTIRETY.
- PROTECT IN PLACE EXISTING AC PAVEMENT.



SHEET NOTES:

- FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS, SEE SHEETS C-1.0.
- REFER TO ARCHITECTURAL DRAWINGS FOR OTHER SITE DIMENSIONS AND IMPROVEMENTS NOT SHOWN ON THIS DRAWING.
- CONTRACTOR TO POUR NEW HARDSCAPE TO NEAREST JOINT.

CONSTRUCTION NOTES:

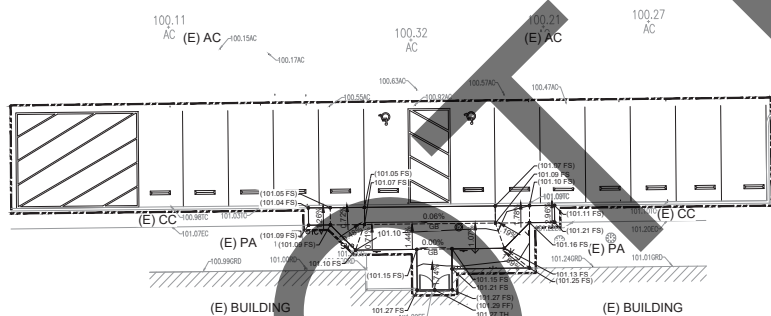
- CONSTRUCT 4" THICK CONCRETE PAVEMENT OVER 4" CRUSHED AGGREGATE BASE PER DETAIL 4 ON SHEET C-3.0.
- INSTALL NEW TRUNCATED DOMES PER DETAIL 4 ON SHEET C-3.0.
- INSTALL NEW COMPLIANT THRESHOLD HARDWARE PER ARCHITECTURAL DRAWINGS.
- INSTALL NEW SIGNAGE, POST AND FOOTING PER ARCHITECTURAL DRAWINGS.
- INSTALL NEW STRIPING PER ARCHITECTURAL DRAWINGS.
- INSTALL NEW PLANTER AREA PER ARCHITECTURAL DRAWINGS.
- INSTALL EJ PER DETAIL 3 ON SHEET C-3.0.
- INSTALL NEW WHEEL STOP PER ARCHITECTURAL DRAWINGS.

CONSTRUCTION LEGEND:

- CONSTRUCT 4" THICK CONCRETE PAVEMENT OVER 4" CRUSHED AGGREGATE BASE DETAIL 1 ON SHEET C-3.0.
- INSTALL NEW TRUNCATED DOMES PER DETAIL 4 ON SHEET C-3.0.
- LIMIT OF WORK

1 SITE DEMOLITION PLAN
SCALE 1" = 10'

2 SITE CONTROL PLAN
SCALE 1" = 10'



3 SITE GRADING PLAN
SCALE 1" = 10'

CONSULTANT:

STAMPS:



SAN BERNARDINO COUNTY
SHERIFF'S CRIME LAB
200 SOUTH LENA RD.
SAN BERNARDINO, CA



CLIENT:

MARK	DATE	DESCRIPTION
	03/29/24	SCHEMATIC DESIGN

PROJECT NO.: 586.000

SHEET TITLE:

SITE DEMOLITION,
SITE CONTROL,
SITE GRADING
PLAN

SHEET NO.:

C-2.0

CONSULTANT:

STAMP:



**SAN BERNARDINO COUNTY
SHERIFF'S CRIME LAB**
200 SOUTH LEVA RD.
SAN BERNARDINO, CA

PROJECT:



CLIENT:

MARK	DATE	DESCRIPTION
	03/29/24	SCHEMATIC DESIGN

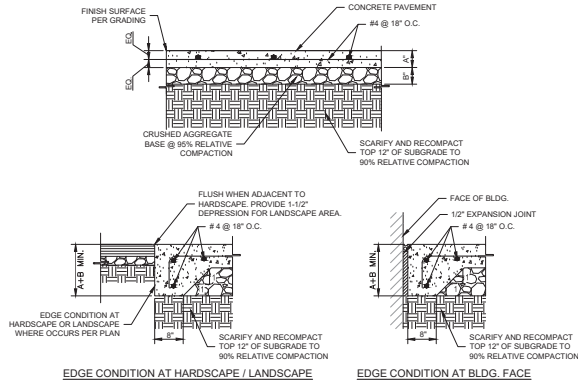
PROJECT NO. : SBC-002

SHEET TITLE:

**MISCELLANEOUS
DETAILS**

SHEET NO.:

C-3.0

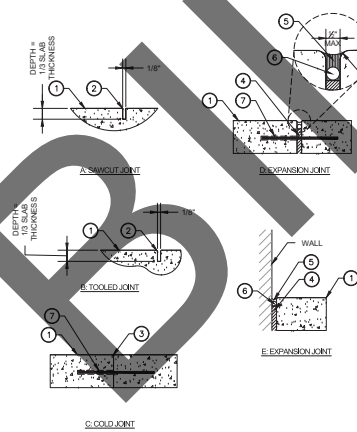
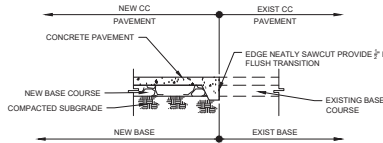


TABLE

LOCATION	CONCRETE PAVEMENT THICKNESS "A"	CRUSHED AGGREGATE BASE THICKNESS "B"
NON-TRAFFIC	4"	4"

NOTES:

- CONCRETE, P.C = 3,000 PSI @ 28 DAYS.
- REBARS, FV-60,000 PSI ASTM A615.
- FOR WPJ CONSTRUCTION JOINTS AND PATTERN, REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
- CRACK CONTROL JOINTS SHALL BE SPACED @ INTERVALS NOT GREATER THAN 10' USING SAWCUTS AND EXTEND MINIMUM OF 1/4 THE SLAB THICKNESS.
- FOR FINISH SURFACES, COLOR INTEGRATION, EXPANSION JOINTS AND OTHER PAVEMENT SURFACE FEATURES, SEE ARCHITECTURAL DRAWINGS.
- FOR PAVEMENT TRANSITIONAL AND JOINT DETAILS REFER TO DETAIL 2 AND 3 ON THIS SHEET.
- LANDSCAPE, TURF AND PLANTING AREA TO BE 1-1/2" BELOW ADJACENT CONCRETE PAVEMENT.
- PROVIDE THICKENED EDGE FOR ALL EDGE CONDITIONS.



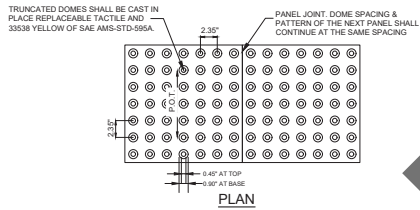
LEGEND

- PAVING FINISH SURFACE.
- SAWCUT.
- 1/4" R. @ EDGES. TYP.
- PREMOLDED E.J. FILLER.
- JOINT SEALANT. COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT. SUBMIT COLOR SAMPLES PRIOR TO INSTALLATION.
- BACKER ROD.
- 18" #4 REBAR W/ 'SPEED DOWEL' @ 36" OC, CENTER IN CONC. AT COLD JOINTS & E.J.'S
- EXPANSION JOINTS 20' O.C. MAX.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF CONTROL JOINT AND EXPANSION JOINT LAYOUT.

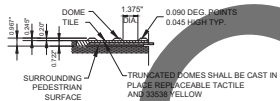
1 CONCRETE PAVEMENT DETAIL
NOT TO SCALE

2 PAVEMENT TRANSITIONAL DETAIL
NOT TO SCALE

3 JOINT DETAIL
NOT TO SCALE



PLAN



TYP. SECTION

NOTES:

- ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS (TRUNCATED DOMES) AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (C.C.R.) TITLE 24, PART 1, ARTICLES 2, 3, AND 4. REFER TO CCR TITLE 24, PART 42, CHAPTERS 12-11A AND 8-102, FOR BUILDING AND FACILITY ACCESS SPECIFICATIONS FOR PRODUCT APPROVAL FOR DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES. [CBC 11B-247.1]
- SEE MANUFACTURERS (ADA SOLUTIONS, INC.) DRAWINGS AND SPECIFICATIONS FOR MORE DETAILS.

4 CAST IN PLACE TRUNCATED DOME DETAIL
NOT TO SCALE



CONSULTANT:



SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL

200 SOUTH LENA RD.
SAN BERNARDINO, CA

SAN BERNARDINO COUNTY



CLIENT:

[illegible]

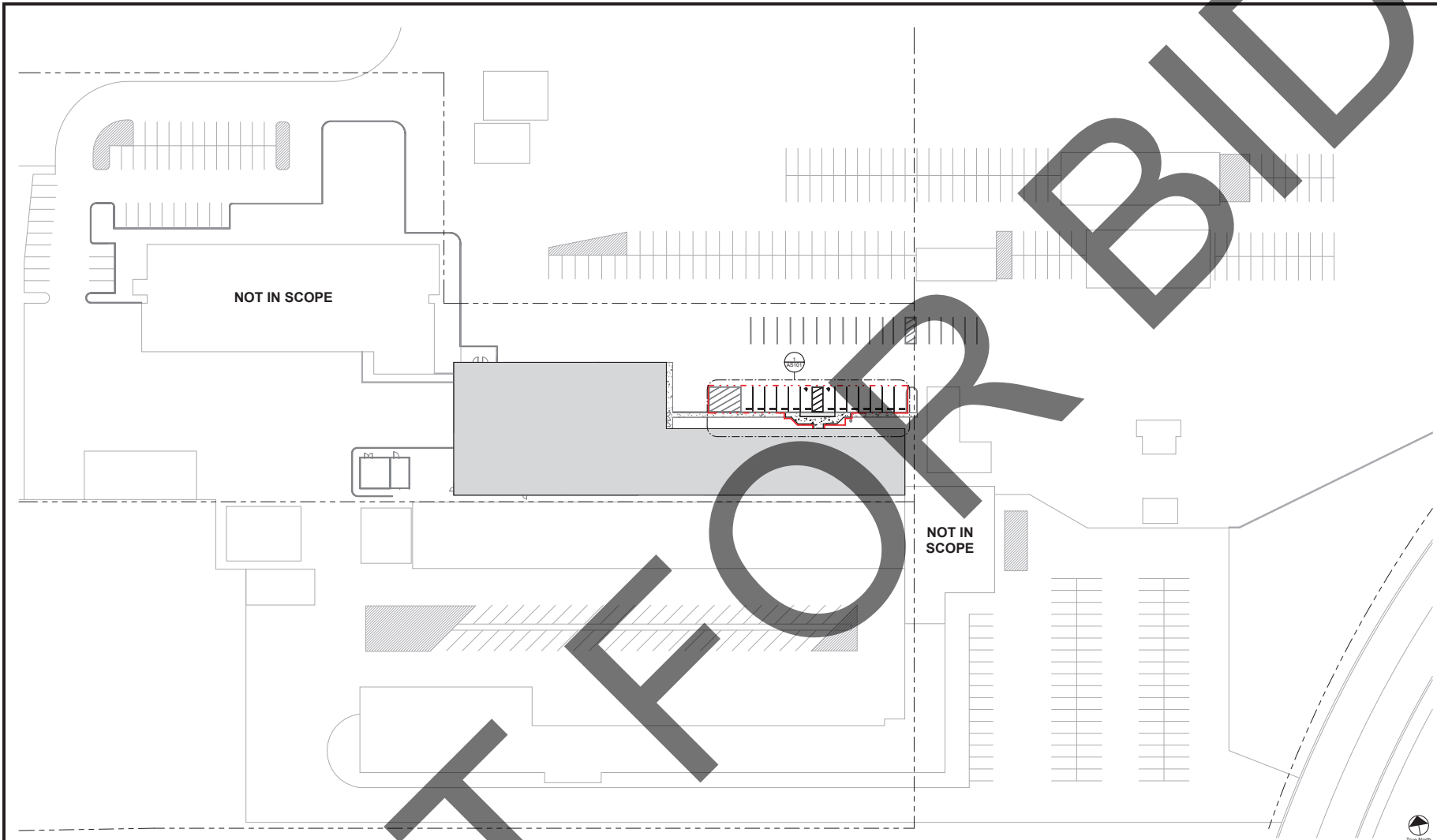
PROJECT NO.: SBC.002

SHEET TITLE:

SITE PLAN - OVERALL


SHEET NO.:

AS100



① SITE PLAN - OVERALL
1" = 30'-0"

SITE PLAN LEGEND

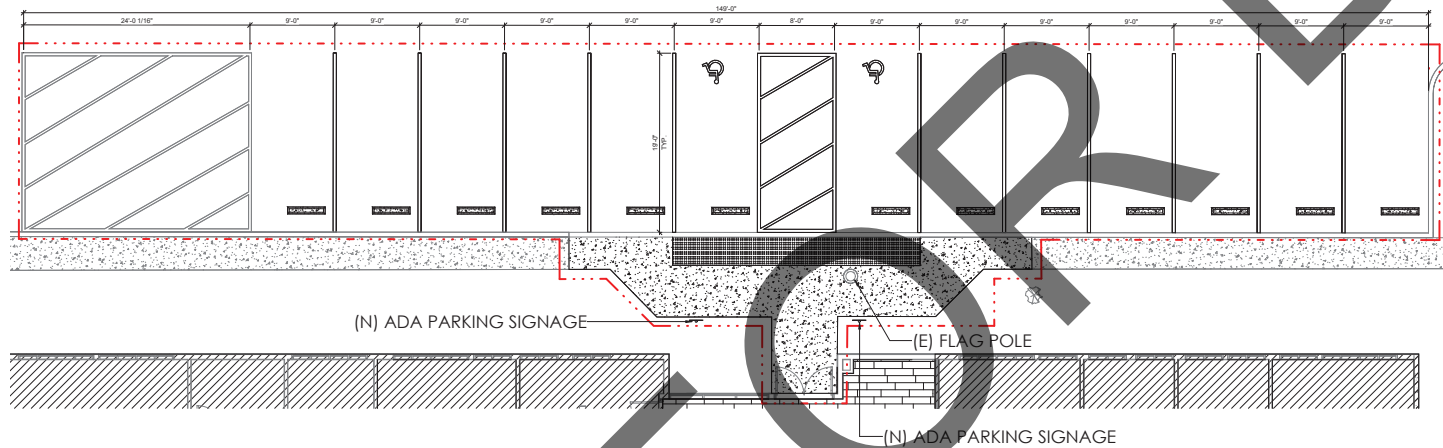
IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS	IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
							

SITE PLAN GENERAL NOTES

1. EXISTING AREAS THAT ARE SCHEDULED TO REMAIN AND THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND REFINISHED TO MATCH ADJACENT SURFACE AT NO ADDITIONAL COST TO THE OWNER.

SITE PLAN KEYNOTES

NOT USED



1 SITE PLAN - AREA OF WORK
3/16" = 1'-0"

SITE PLAN LEGEND							
IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS	IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
<div></div>							

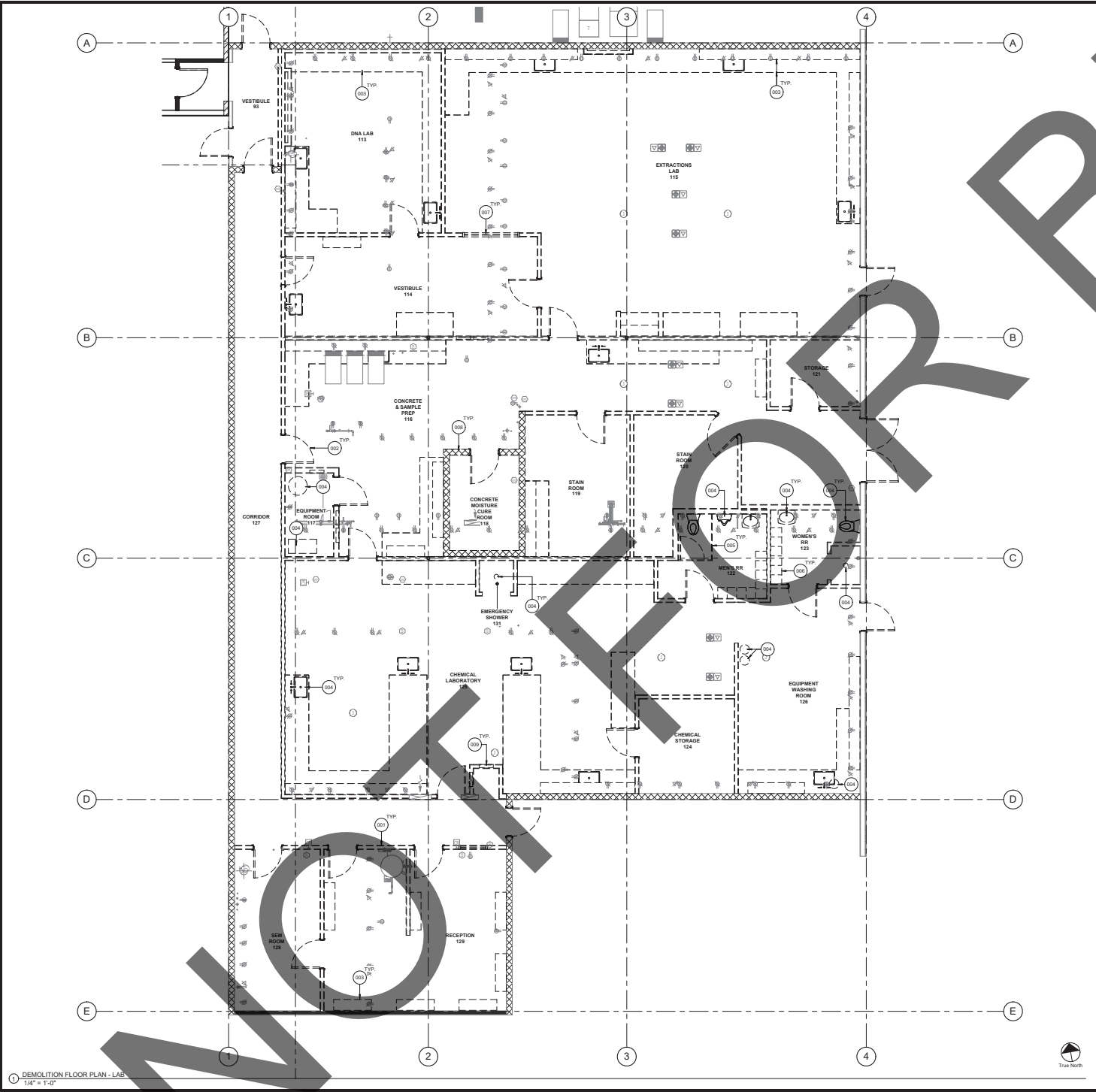
SITE PLAN GENERAL NOTES

1. EXISTING AREAS THAT ARE SCHEDULED TO REMAIN AND THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND REFINISHED TO MATCH ADJACENT SURFACE AT NO ADDITIONAL COST TO THE OWNER.

SITE PLAN KEYNOTES	

NOT USED

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1 DEMOLITION FLOOR PLAN - LAB
1/4" = 1'-0"

DEMOLITION PLAN LEGEND

IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
	(E) WALL TO REMAIN		
	(E) 1-HR RATED WALL TO REMAIN		
	(E) DOOR AND FRAME TO REMAIN		
	(E) WALL ASSEMBLY TO BE DEMOLISHED AND REMOVED		
	(E) DOOR AND FRAME TO BE DEMOLISHED AND REMOVED		

DEMOLITION GENERAL NOTES

- REMOVE ALL FLOOR COVERINGS THROUGHOUT UNLESS NOTED OTHERWISE. REFER TO THE FINISH PLAN FOR FURTHER CLARIFICATION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING EXTERIOR WINDOW FRAMES & GLASS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED ITEMS TO MATCH EXISTING.
- CONTRACTOR IS TO REMOVE ALL EXISTING DRYWALL TO EXPOSED EXISTING METAL STUD FRAMING AND INSULATION WHERE INDICATED ON PLAN.
- FOR ALL ELECTRICAL, MECHANICAL, AND PLUMBING DEMOLITION INFORMATION, CONTRACTOR SHALL REFER TO CORRESPONDING PLANS.
- DEMOLITION CONTRACTOR IS TO KEEP ANY EXISTING WALL THAT IS SUPPORTING EXISTING MECHANICAL SYSTEM UNLESS NOTED OTHERWISE. DEMOLITION CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER OF ANY WALL THAT IS TO REMAIN.
- EXISTING AREAS SCHEDULED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SURFACES AT NO COST TO THE OWNER.
- PATCH AND REPAIR ALL EXISTING WALLS ADJACENT TO THE WORK TO ACHIEVE AN UNINTERRUPTED SURFACE PATCHING OF EXISTING FINISHES SHALL EXTEND TO THE NEAREST NATURAL BREAK OR TERMINATION TO PROVIDE A CONTINUOUS, UNBLENDED APPEARANCE.
- THE DEMOLITION WORK SHALL BE COORDINATED BY ALL TRADES. FOR ADDITIONAL DEMOLITION WORK, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS, AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE START OF WORK.
- CONTRACTOR TO VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, AND WALL OPENINGS FOR THE MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK.
- FIRE PROTECTION DURING DEMOLITION AND CONSTRUCTION SHALL BE ACCORDING TO REQUIREMENTS IN IFC 2015, CHAPTER 14.
- THE FIRE SAFETY INSPECTOR REQUIRES THAT ANY PORTION OF THE DEMOLISHED FIRE RATED CORRIDOR WALLS SHALL BE COVERED TEMPORARILY WITH PLYWOOD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STAGE THE WORK FLOW SO THAT THERE IS MINIMAL IMPACT TO THE DAILY BUSINESS ACTIVITIES GOING ON IN THE ADJOINING SPACES, AND CORRIDOR.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SYSTEMS FURNITURE VENDOR FOR REMOVING FLOOR COVERINGS.
- DEMOLITION CONTRACTOR IS RESPONSIBLE FOR SAW CUTTING, DEMOLISHING, REMOVING, AND TRENCHING FOR NEW PLUMBING LINES REQUIRED FOR THE NEW RESTROOMS.
- ASBESTOS IS PRESENT IN THE WORK AREA. REFER TO ASBESTOS REPORT PREPARED BY GECON WEST, INC., 3197 CORNING PLACE, SUITE 101, MURFET, CA 92555. GECON PROJECT NO. 12940-22-15

DEMOLITION KEYNOTES

001	(E) WALL ASSEMBLY TO BE DEMOLISHED AND REMOVED
002	(E) DOOR AND FRAME TO BE DEMOLISHED AND REMOVED
003	(E) CASEWORK / COUNTERTOP TO BE DEMOLISHED AND REMOVED
004	(E) PLUMBING FIXTURE TO BE DEMOLISHED AND REMOVED. REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION
005	(E) TOILET PARTITIONS TO BE DEMOLISHED AND REMOVED
006	(E) LOCKERS TO BE DEMOLISHED AND REMOVED
007	(E) WINDOW AND FRAME TO BE DEMOLISHED AND REMOVED
008	(E) CMU WALL TO BE DEMOLISHED AND REMOVED
009	(E) ELECTRICAL PANEL TO BE DEMOLISHED AND REMOVED. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION

KEY PLAN

True North

HOLT ARCHITECTURE

58951 COOK ST. STE 103 | 2300 MARKET ST. STE 140
PALM DESERT, CA 92211 | RIVERSIDE, CA 92501
PH: 760.328.6280 | PH: 951.482.1481
WWW.HOLTARCHITECTURE.COM

CONSULTANT:

STAMPS:

SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL

200 SOUTH LENA RD.
SAN BERNARDINO, CA

COUNTY OF SAN BERNARDINO

PROJECT:

MARK	DATE	DESCRIPTION
	06/28/24	PC RD 1 SUBMITTAL

PROJECT NO.: 58C-002

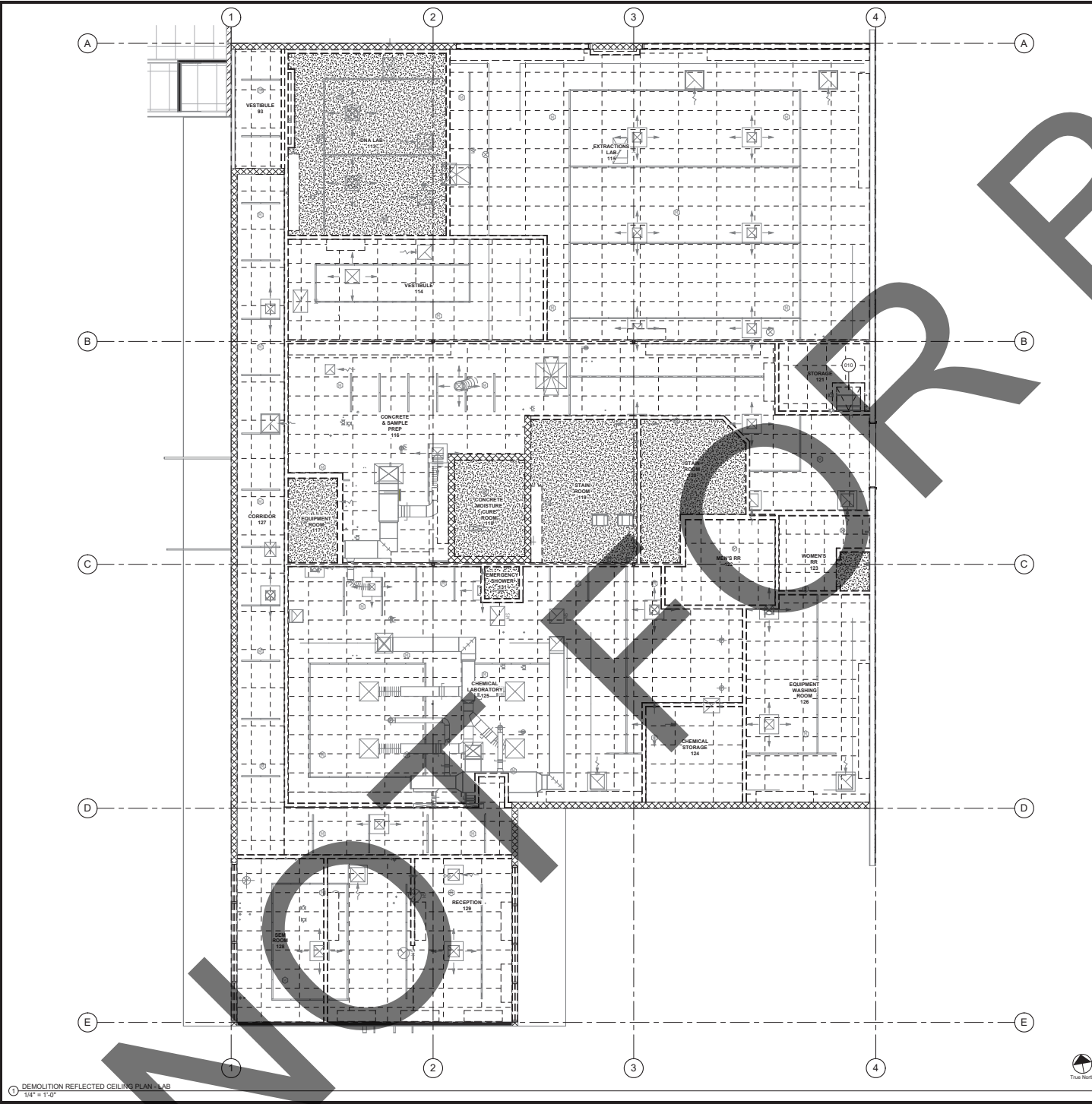
SHEET TITLE:

DEMOLITION FLOOR PLAN - LAB

SHEET NO.:

AD100

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DEMOLITION PLAN LEGEND

IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
[Symbol]	(E) WALL TO REMAIN		
[Symbol]	(E) FLOOR RATED WALL TO REMAIN		
[Symbol]	(E) SUSPENDED CEILING TO REMAIN, PROTECT IN PLACE		
[Symbol]	(E) FIRE SPRINKLER TO REMAIN, PROTECT IN PLACE		
[Symbol]	(E) WALL ASSEMBLY TO BE DEMOLISHED AND REMOVED		
[Symbol]	(E) SUSPENDED CEILING SYSTEM TO BE DEMOLISHED AND REMOVED		
[Symbol]	(E) HVAC DIFFUSER TO BE DEMOLISHED AND REMOVED	REFER TO MECHANICAL FOR ADDITIONAL INFORMATION	
[Symbol]	(E) LIGHT FIXTURE TO BE DEMOLISHED AND REMOVED	REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION	

DEMOLITION GENERAL NOTES

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING EXTERIOR WINDOW FRAMES & GLASS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED ITEMS TO MATCH EXISTING.

2. CONTRACTOR IS TO REMOVE ALL EXISTING DRYWALL TO EXPOSE EXISTING METAL STUD FRAMING AND INSULATION WHERE INDICATED ON PLAN.

3. FOR ALL ELECTRICAL, MECHANICAL, AND PLUMBING DEMOLITION INFORMATION, CONTRACTOR SHALL REFER TO CORRESPONDING PLANS.

4. DEMOLITION CONTRACTOR IS TO KEEP ANY EXISTING WALL THAT IS SUPPORTING EXISTING MECHANICAL SYSTEM UNLESS NOTED OTHERWISE. DEMOLITION CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER OF ANY WALL THAT IS TO REMAIN.

5. EXISTING AREAS SCHEDULED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SURFACES AT NO COST TO THE OWNER.

6. PATCH AND REPAIR ALL EXISTING WALLS ADJACENT TO THE WORK TO ACHIEVE AN UNINTERRUPTED SURFACE PATCHING OF EXISTING FINISHES SHALL EXTEND TO THE NEAREST NATURAL BREAK OR TERMINATION TO PROVIDE A CONTINUOUS, UNBLENDED APPEARANCE.

7. THE DEMOLITION WORK SHALL BE COORDINATED BY ALL TRADES. FOR ADDITIONAL DEMOLITION WORK, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.

8. CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS, AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE START OF WORK.

9. CONTRACTOR TO VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, AND WALL OPENINGS FOR THE MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS KNOWN OR REQUIRED FOR THE COMPLETION OF THE WORK.

10. FIRE PROTECTION DURING DEMOLITION AND CONSTRUCTION SHALL BE ACCORDING TO REQUIREMENTS IN CFC 2013, CHAPTER 14.

11. THE FIRE SAFETY INSPECTOR REQUIRES THAT ANY PORTION OF THE DEMOLISHED FIRE RATED CORRIDOR WALLS SHALL BE COVERED TEMPORARILY WITH PLYWOOD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STAGE THE WORK FLOW SO THAT THERE IS MINIMAL IMPACT TO THE DAILY BUSINESS ACTIVITIES GOING ON IN THE ADJACENT BRACES AND CORRIDORS.

12. ASBESTOS IS PRESENT IN THE WORK AREA. REFER TO ASBESTOS REPORT PREPARED BY GECON WEST, INC. 11571 CORNING PLACE, SUITE 101, MURRIETA, CA 92562. GECON PROJECT NO: 12840-22-13.

DEMOLITION KEYNOTES

KEY PLAN

HOLT ARCHITECTURE

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CONSULTANT:

STAMPS:

SEAL OF ARCHITECT
THOMAS C. HOLT
C-31626
MAY 10/2018
STATE OF CALIFORNIA

SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL

200 SOUTH LENA RD.
SAN BERNARDINO, CA

COUNTY OF SAN BERNARDINO
SAN BERNARDINO COUNTY

PROJECT NO.: 08C-002

SHEET TITLE:
DEMOLITION REFLECTED
CEILING PLAN -
LAB

SHEET NO.:
AD120

DEMOLITION PLAN LEGEND

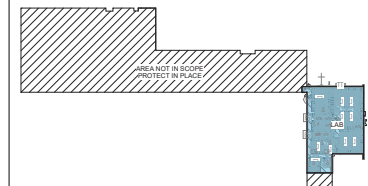
IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS

DEMOLITION GENERAL NOTES

- EXISTING ROOFING TO REMAIN UNLESS NOTED OTHERWISE.
- EXISTING AREAS SCHEDULED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SURFACES AT NO COST TO THE OWNER.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR ADDITIONAL DEMOLITION INFORMATION.

DEMOLITION KEYNOTES

KEY PLAN



CONSULTANT:



SHERIFF SCIENTIFIC INVESTIGATIONS DIVISION (SID) ORANGE AND BLUE LAB REMODEL
200 SOUTH LENA RD.
SAN BERNARDINO, CA



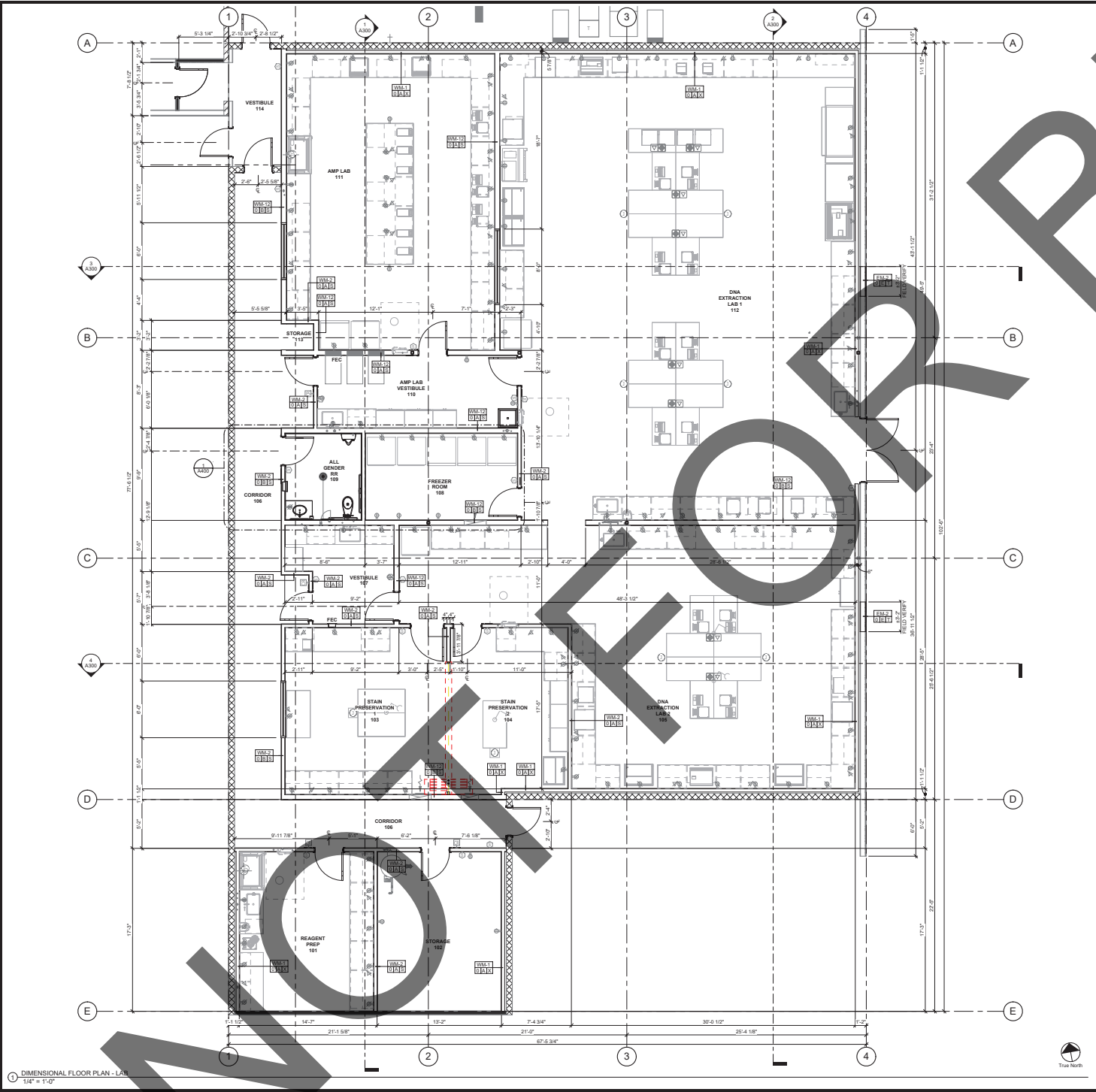
MARK	DATE	DESCRIPTION
06/28/24	PC RD 1 SUBMITTAL	

PROJECT NO.: SBC-002

SHEET TITLE:
DEMOLITION ROOF PLAN - LAB

SHEET NO.:
AD140

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1 DIMENSIONAL FLOOR PLAN - LAB
1/4" = 1'-0"

FLOOR PLAN LEGEND

IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
	(E) WALL TO REMAIN		
	FR - FIRE RATED WALL TO REMAIN		
	FR - FLOOR AND FRAME TO REMAIN		
	(N) FRAMED WALL TYPE MARKER		REFER TO A001 WALL SCHEDULE
	FR - FLOOR AND FRAME		REFER TO A001 DOOR SCHEDULE
	(N) WINDOW SYSTEM		REFER TO A001 WINDOW SCHEDULE
	CR - CARD READER		REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION
	RECESSED FIRE EXTINGUISHER CABINET		REFER TO XXXX

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF EXISTING WALLS, AND FACE OF NEW METAL STUD FRAMING UNLESS NOTED OTHERWISE ON PLANS.
- CONTRACTOR TO PROVIDE BACKING REINFORCEMENT FOR FURNITURE & EQUIPMENT IN WALLS & CEILING LOCATIONS TYPICAL.
- CONTRACTOR TO BRACE PARTITION WALLS TO UNDERSIDE OF DECK. CONTRACTOR SHALL NOT BRACE AT STRUCTURAL BEAMS. REFER TO DETAIL XXX FOR TYPICAL PARTIAL HEIGHT PARTITION WALL BRACING INFORMATION.
- ALL EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD.
- GENERAL CONTRACTOR SHALL COORDINATE WITH DRYWALL CONTRACTOR TO MAKE SURE THEY REFER TO ELECTRICAL, MECHANICAL, & PLUMBING PLANS FOR ANY ADDITIONAL DRYWALL PATCH REQUIRED DUE TO NEW INFRASTRUCTURE IN EXISTING WALLS TO REMAIN AS INDICATED ON THE FLOOR PLAN. GENERAL CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO BID. COUNTY WILL NOT BE RESPONSIBLE FOR ANY NEGLIGENCE BY THE GENERAL CONTRACTOR OR SUBS CONTRACTORS.
- ALL VOIDS, CRACKS, & JOINTS AROUND DOOR FRAMES, JAMBES, DUCTS, & OUTLETS MUST BE FILLED WITH INSULATION AND SEALED WITH SPACKLING AND/OR CAULKING AND PAINTED.
- PANT ALL EXPOSED PLUMBING, MECHANICAL, & OTHER ITEMS WITHOUT FACTORY FINISH SUCH AS CONDUITS, PIPES, ACCESS PANELS AND ITEMS OF A SIMILAR NATURE TO MATCH ADJACENT SURFACE FINISH UNLESS NOTED OTHERWISE.
- FIRE EXTINGUISHERS SHALL BE PLACED AS REQUIRED BY THE FIRE MARSHALL. INSTALL PORTABLE FIRE EXTINGUISHERS PER NFPA PAMPHLET #2, BUT NOT LESS THAN 210BC IN RATING. REFER TO LAB EQUIPMENT PLANS FOR COORDINATION AND ADDITIONAL INFORMATION WITH CASEWORK / EQUIPMENT.
- ALL DOORS ARE TO BE LOCATED 4" FROM FACE OF ADJACENT WALL STUD UNLESS DIMENSIONED OTHERWISE ON PLANS.

FLOOR PLAN KEYNOTES

KEY PLAN

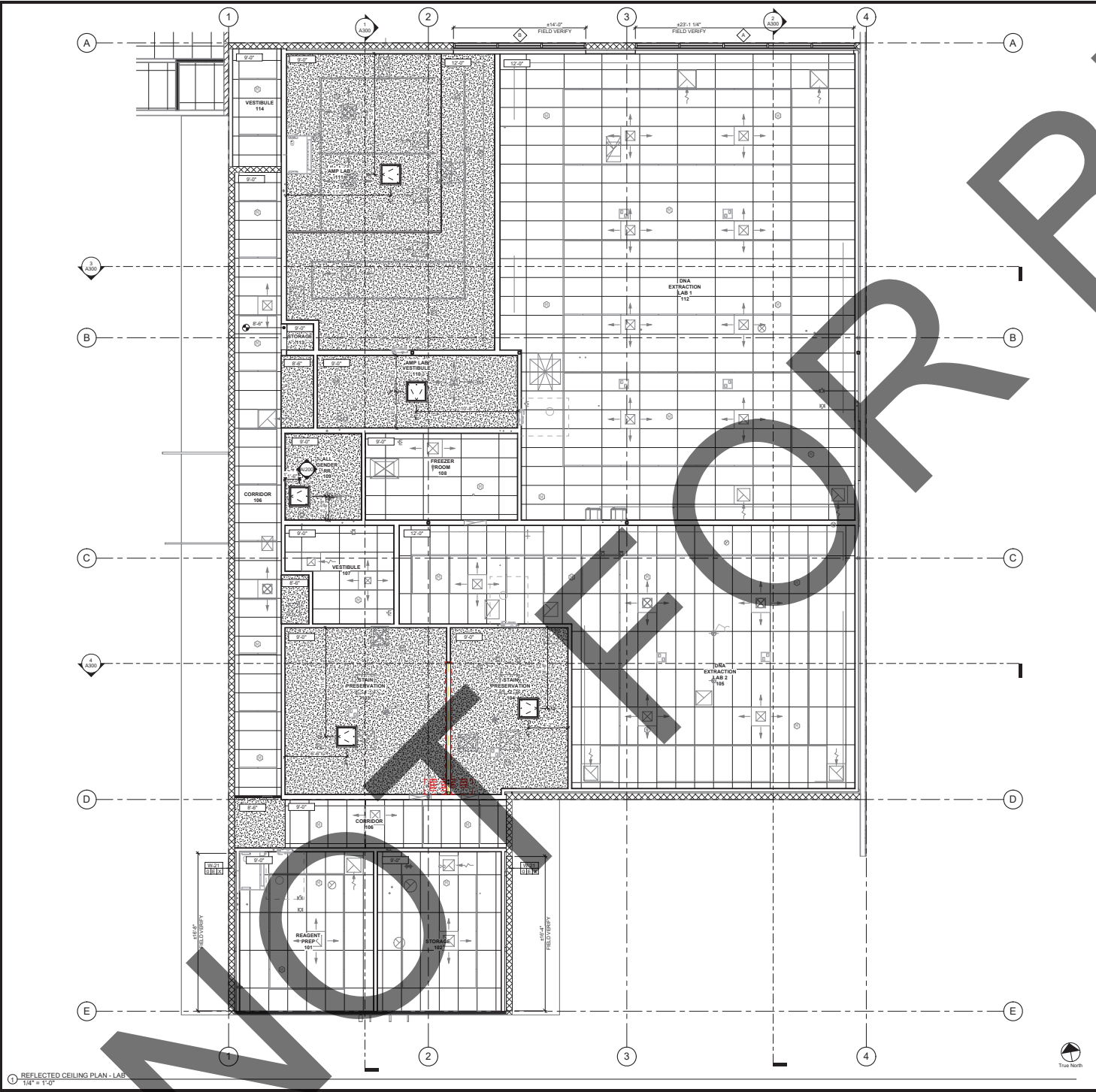
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CONSULTANT:
STAMPS:

**SHERIFF SCIENTIFIC
INVESTIGATIONS DIVISION (SID)
ORANGE AND BLUE LAB REMODEL**
PROJECT:
COUNTY OF SAN BERNARDINO

CLIENT:
MARK: DATE: DESCRIPTION:
06/28/24 PC RD 1 SUBMITTAL
PROJECT NO.: SBC-002
SHEET TITLE:
**DIMENSIONAL
FLOOR PLAN - LAB**
SHEET NO.:
A100

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RCP LEGEND

IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
	(E) WALL TO REMAIN		
	(E) UNRATED WALL TO REMAIN		
	(E) SUSPENDED CEILING IN USMAN, PROTECT IN PLACE		
	(E) FIRE SPRINKLER TO REMAIN, PROTECT IN PLACE (N) FRAMED WALL		
	ACoustICAL CEILING TILE & GRID	REFER TO INTERIOR MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION	
	HARD LID CEILING	PAINT FINISH. REFER TO INTERIOR MATERIAL SCHEDULE FOR COLOR	
	24" X 24" ACCESS PANEL	REFER TO XXXX	
	HVAC DIFFUSER	REFER TO MECHANICAL FOR ADDITIONAL INFORMATION	
	ARTICULATING TASK EXHAUST	REFER TO MECHANICAL FOR ADDITIONAL INFORMATION	
	LIGHT FIXTURE	REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION	
	OVERHEAD CHORD REEL (OCHR)	REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION	

RCP GENERAL NOTES

1. FIRE SPRINKLER HEAD PLACEMENT SHALL BE LOCATED IN THE CENTER OF 2'-0" BY 4'-0" ACoustICAL CEILING TILE TYPICAL THROUGHOUT PROJECT. ANY PLACEMENT OF HEAD THAT CAN NOT MEET REQUIREMENTS SHALL BE IDENTIFIED AND MUST GET APPROVAL FROM ARCHITECT PRIOR TO INSTALLATION.

RCP KEYNOTES

KEY PLAN

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CONSULTANT:

STAMPS:

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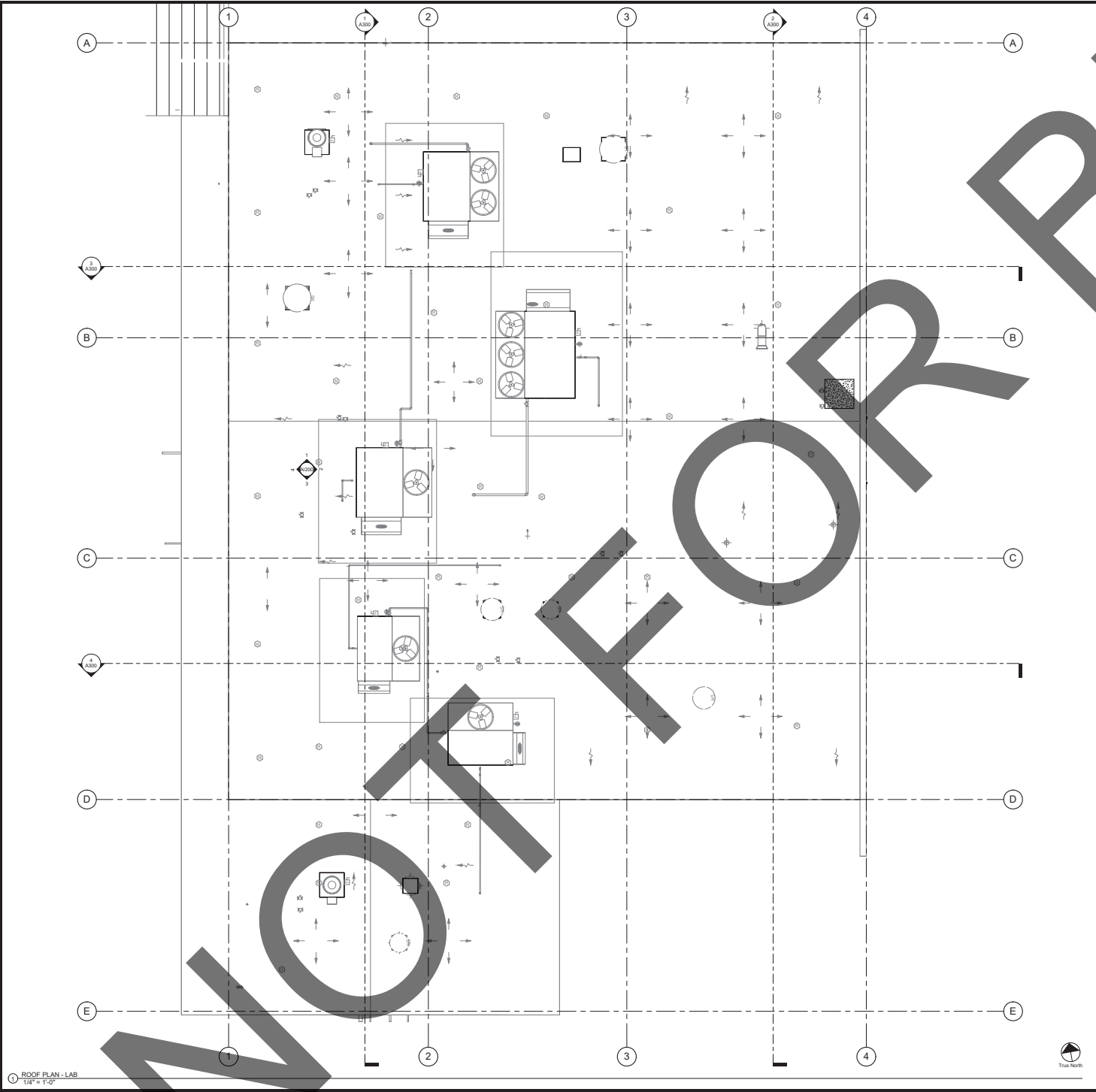
COUNTY OF SAN BERNARDINO

PROJECT NO.: 08C-002

SHEET TITLE: REFLECTED CEILING PLAN - LAB

SHEET NO.: A120

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1 ROOF PLAN - LAB
1/4" = 1'-0"

ROOF PLAN LEGEND

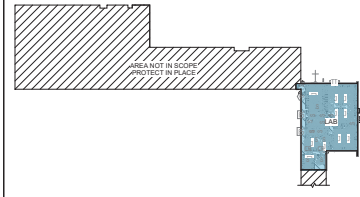
IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS
		ROOF PATCH	REFER TO 1000 FOR ADDITIONAL INFORMATION

ROOF PLAN GENERAL NOTES

PATCH AND REPAIR ROOF TO MATCH EXISTING ROOF WARRANTY, TYPICAL.

ROOF PLAN KEYNOTES

KEY PLAN



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CONSULTANT:



SHERIFF SCIENTIFIC
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ORANGE AND BLUE LAB REMODEL

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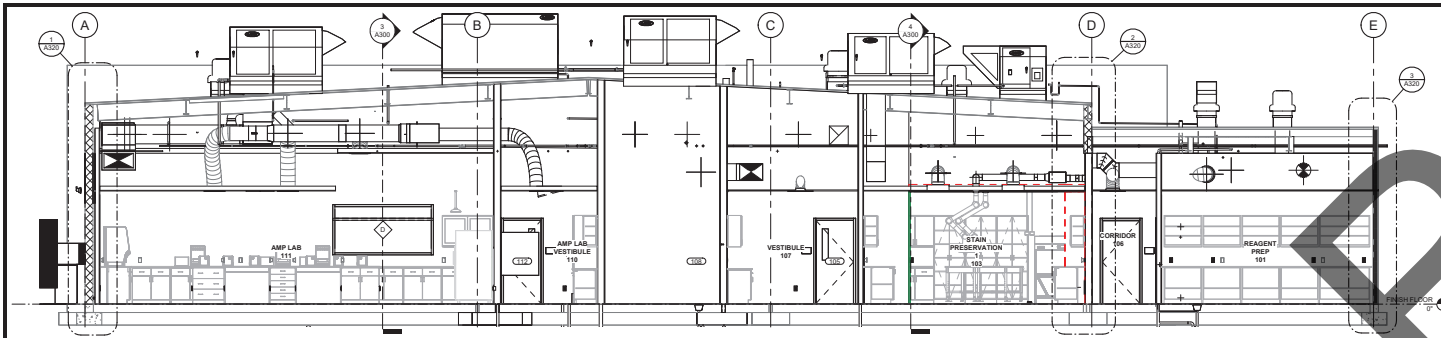


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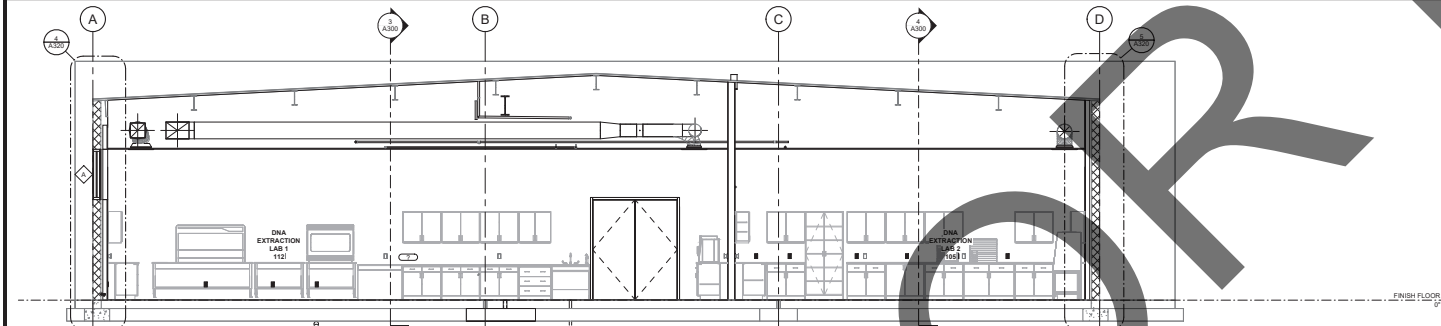
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SHEET TITLE:
ROOF PLAN - LAB

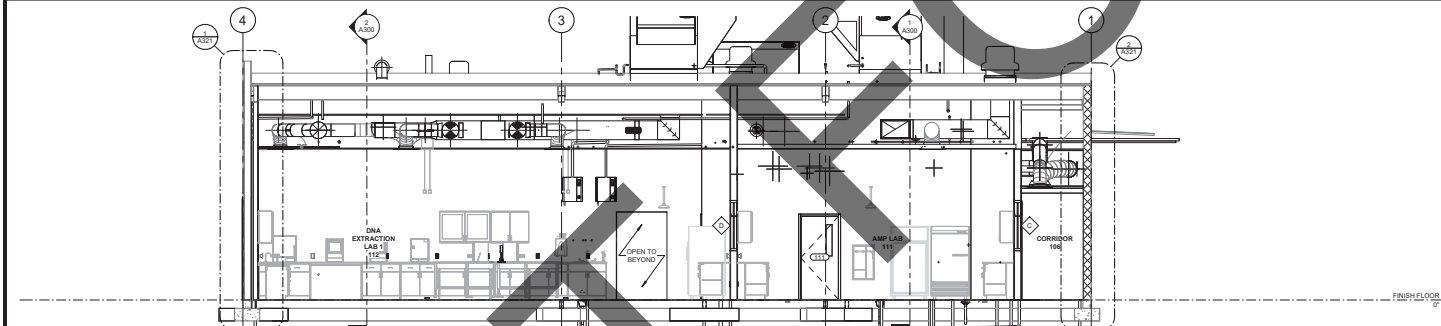
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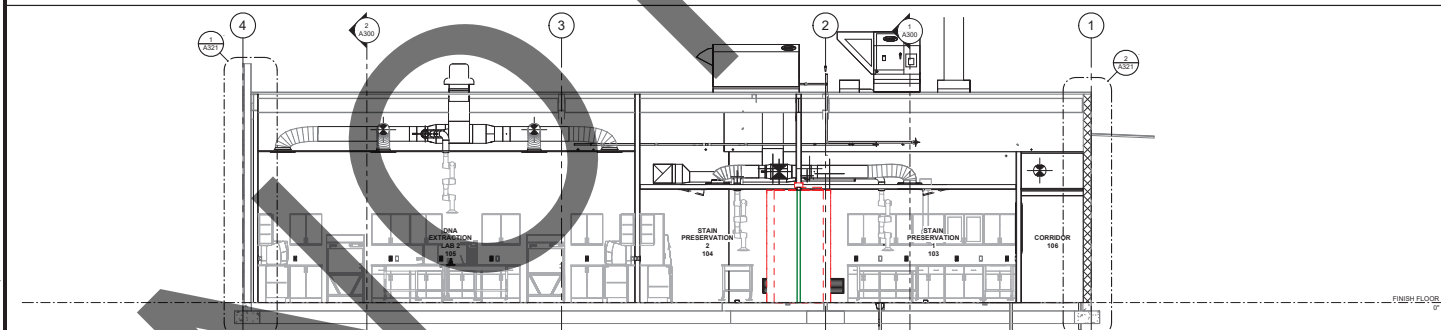
1 NORTH-SOUTH - AMP LAB 111 THRU REAGENT PREP 101
1/4" = 1'-0"



2 NORTH-SOUTH - DNA EXTRACTION LAB 112 THRU DNA EXTRACTION LAB 2105
1/4" = 1'-0"



3 EAST-WEST - DNA EXTRACTION LAB 112 THRU CORRIDOR 106
1/4" = 1'-0"



4 EAST-WEST - DNA EXTRACTION LAB 2105 THRU CORRIDOR 106
1/4" = 1'-0"

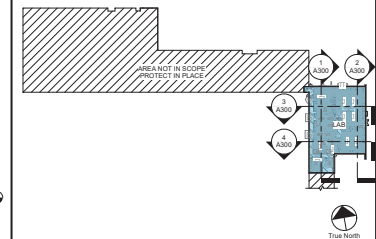
SECTION LEGEND

IMAGE	KEY	DESCRIPTION	REMARKS / COMMENTS

SECTION GENERAL NOTES

SECTION KEYNOTES

KEY PLAN



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PROJECT NO.: 58C-002

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.:

A300