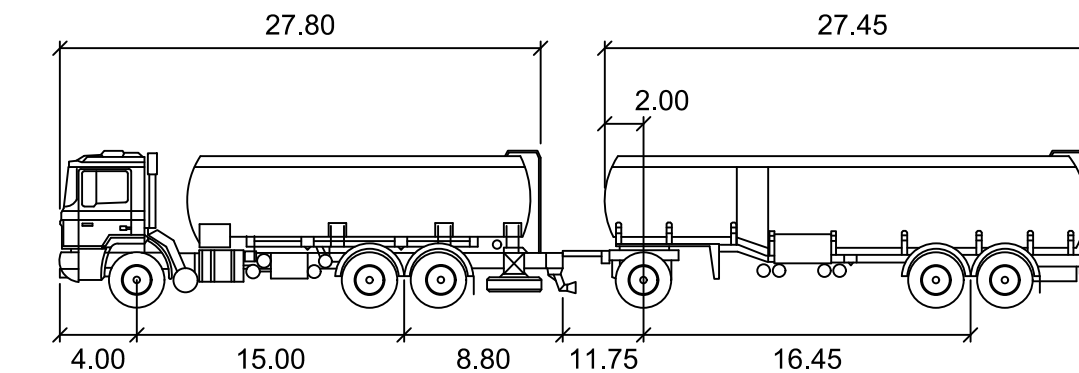
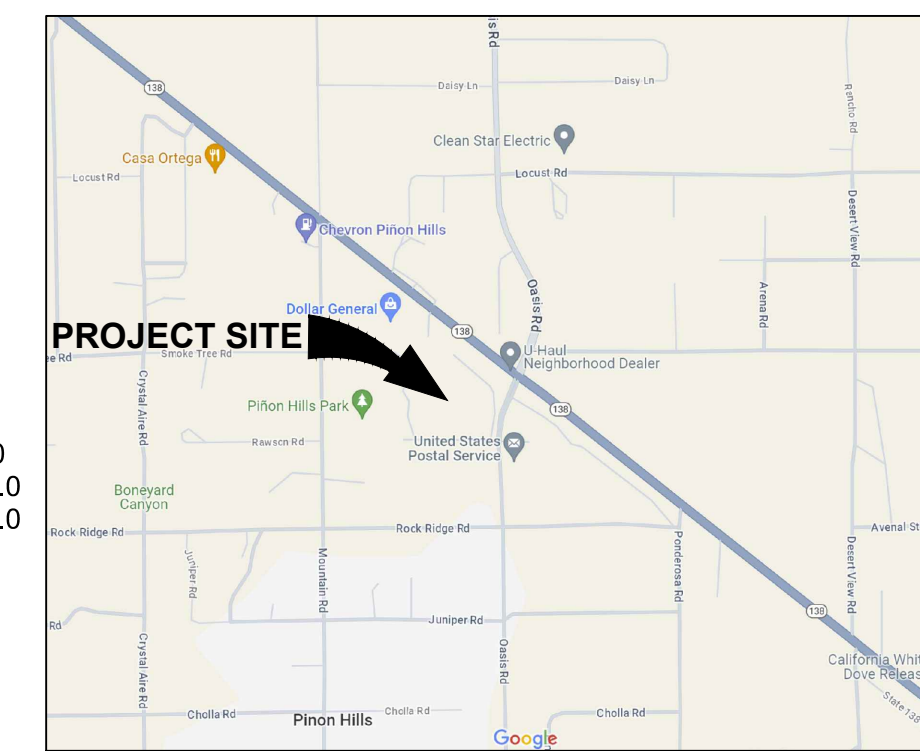




feet	
: 8.00	Lock to Lock Time
: 8.00	Steering Angle
: 7.70	Articulating Angle
: 7.70	

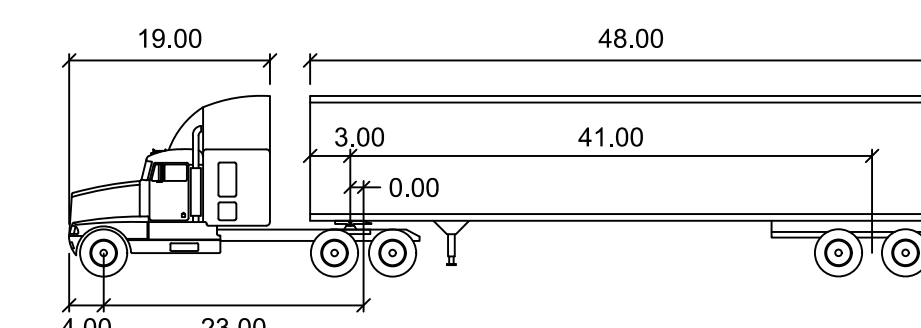


VICINITY MAP

SITE LEGEND

	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING UTILITY EASEMENT
	EXISTING RIGHT OF WAY
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED RIGHT OF WAY
	PROPOSED STORM DRAIN LINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	PROPOSED CURB
	PROPOSED ROLL-OVER CURB
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED WATER STRUCTURES
	PROPOSED STORM STRUCTURES
	EXISTING ELECTRIC STRUCTURE
	PROPOSED PARKING COUNT
	EXISTING TREE
	EXISTING SHRUB
	EXISTING JOSHUA TREE
	EXISTING WATER STRUCTURE
	EXISTING ELECTRIC STRUCTURE
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE
	EXISTING OVERHEAD WIRES

ZONING DATA		
ZONED "CG" GENERAL COMMERCIAL		
ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	APN 3067-051-29-0000	APN 3067-051-29-0000
LAND USE	GENERAL COMMERCIAL	GENERAL COMMERCIAL
BUILDING HEIGHT (FT)	ALLOWED 35 FT	10 FT (1 STORY)
BUILDING AREA (SF)	VACANT	5,637
FLOOR AREA RATIO (FAR)	25% MAXIMUM	1.5%
FRONT YARD (FT)	25	120
SIDE YARD (FT)	25	25
REAR YARD (FT)	10	70
PARKING SPACES	23 STALLS	42 STALLS
ADA PARKING SPACES	2 STALLS	2 STALLS
TOTAL PARCEL AREA	8.78 AC ±	8.78 AC ±
LANDSCAPING (SF)	0	222.06 ±
PERCENTAGE OF NET SITE AREA	0	58%
TRASH ENCLOSURE SIZING	N/A	12'-8"W x 34'-8"L



STAA Design Vehicle (56 FT RADIUS)

	feet		
Tractor Width	: 8.50	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 26.1
Tractor Track	: 8.50	Articulating Angle	: 70.0
Trailer Track	: 8.50		

CORE STATES

CORE S

42420 E. Jurupa Street, Suite 402
 Ontario, CA 91761
 Phone (909) 467-8907
sruiz@core-states.com

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MAVERIK

PREPARED FOR:



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION.

REVISIONS

[illegible]

DOCUMENT

CONCEPTUAL SITE PLAN FOR MAVERIK PROGRAM

SITE LOCATION

10450 OASIS ROAD
PINON HILLS, CA 92372

ENGINEER SE

**NOT FOR
CONSTRUCTION**

SHEET TITLE

CONCEPTUAL SITE PLAN

JOB #:	MAV.36727.CIVIL
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DATE:	11/10/2025
SCALE:	

SHEET NO.

C1.0

A

B

C

D

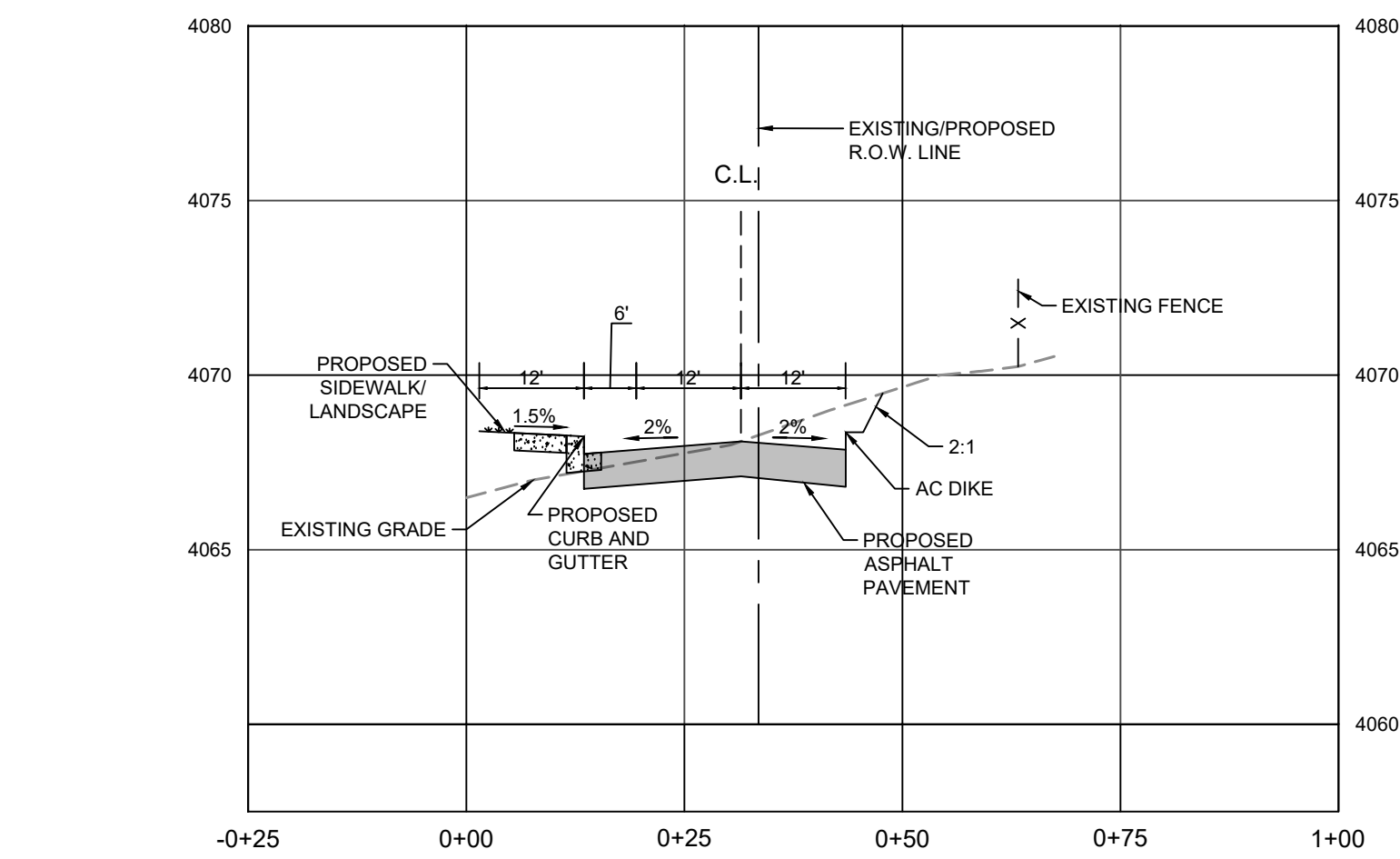
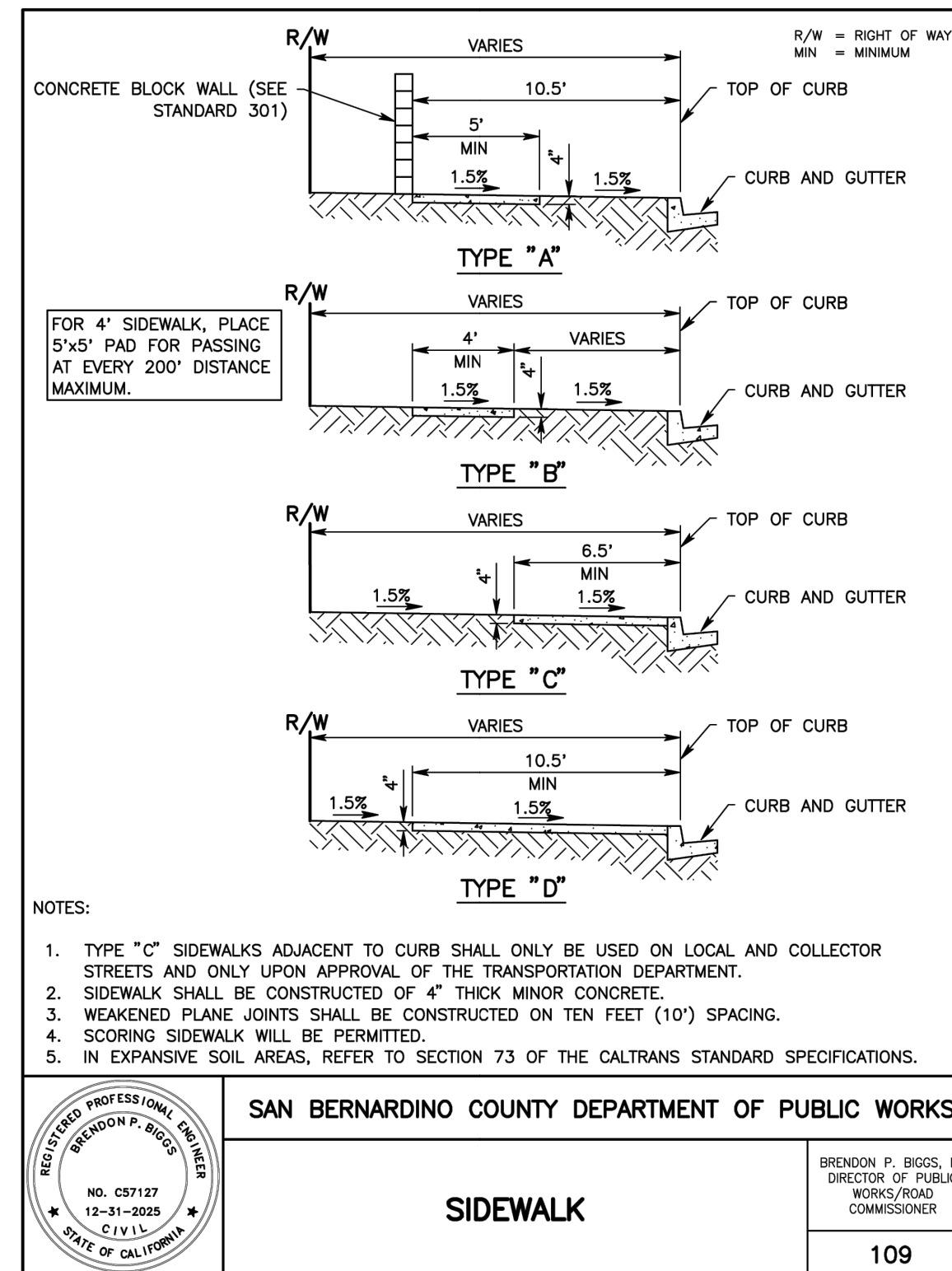
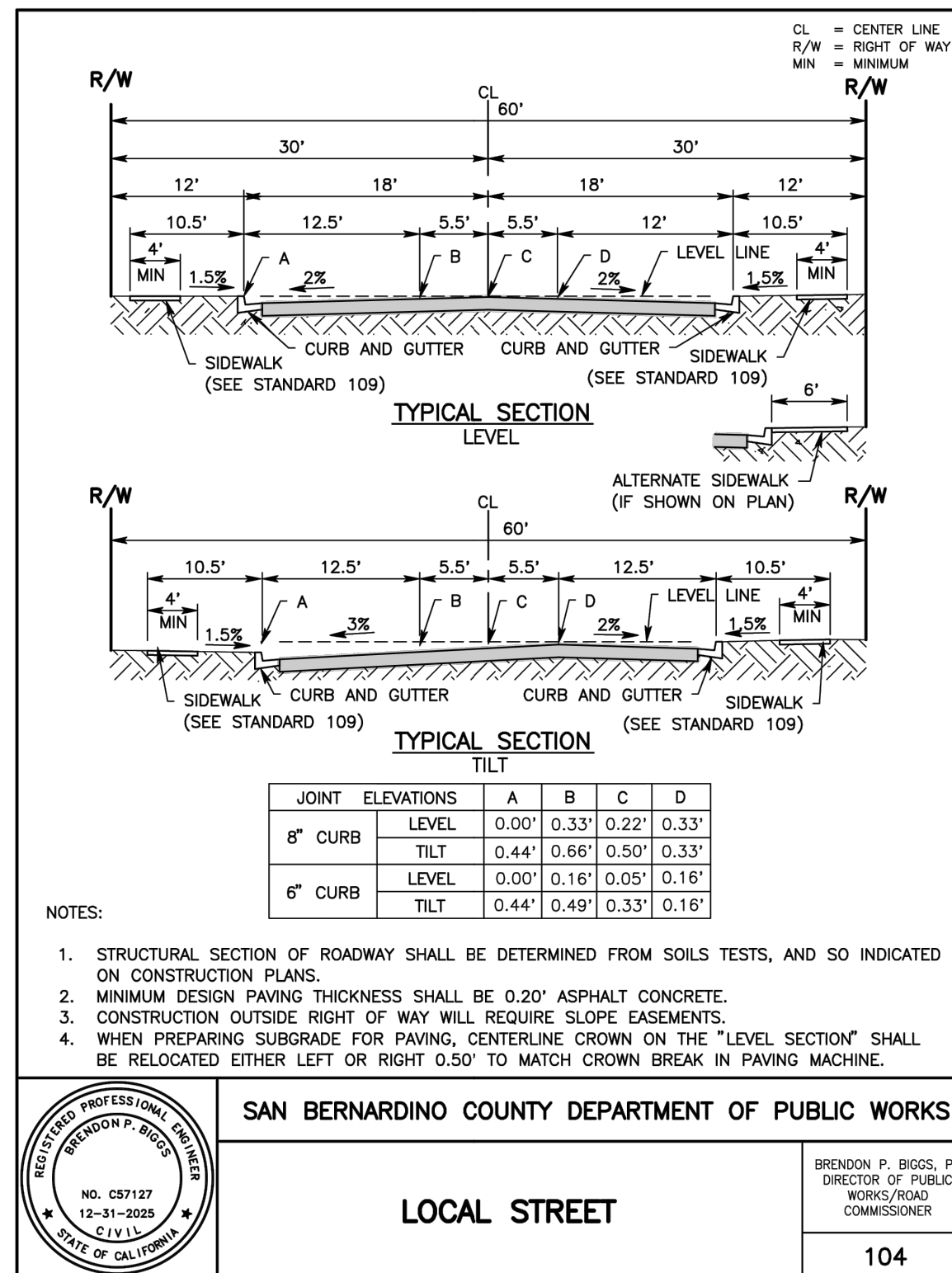
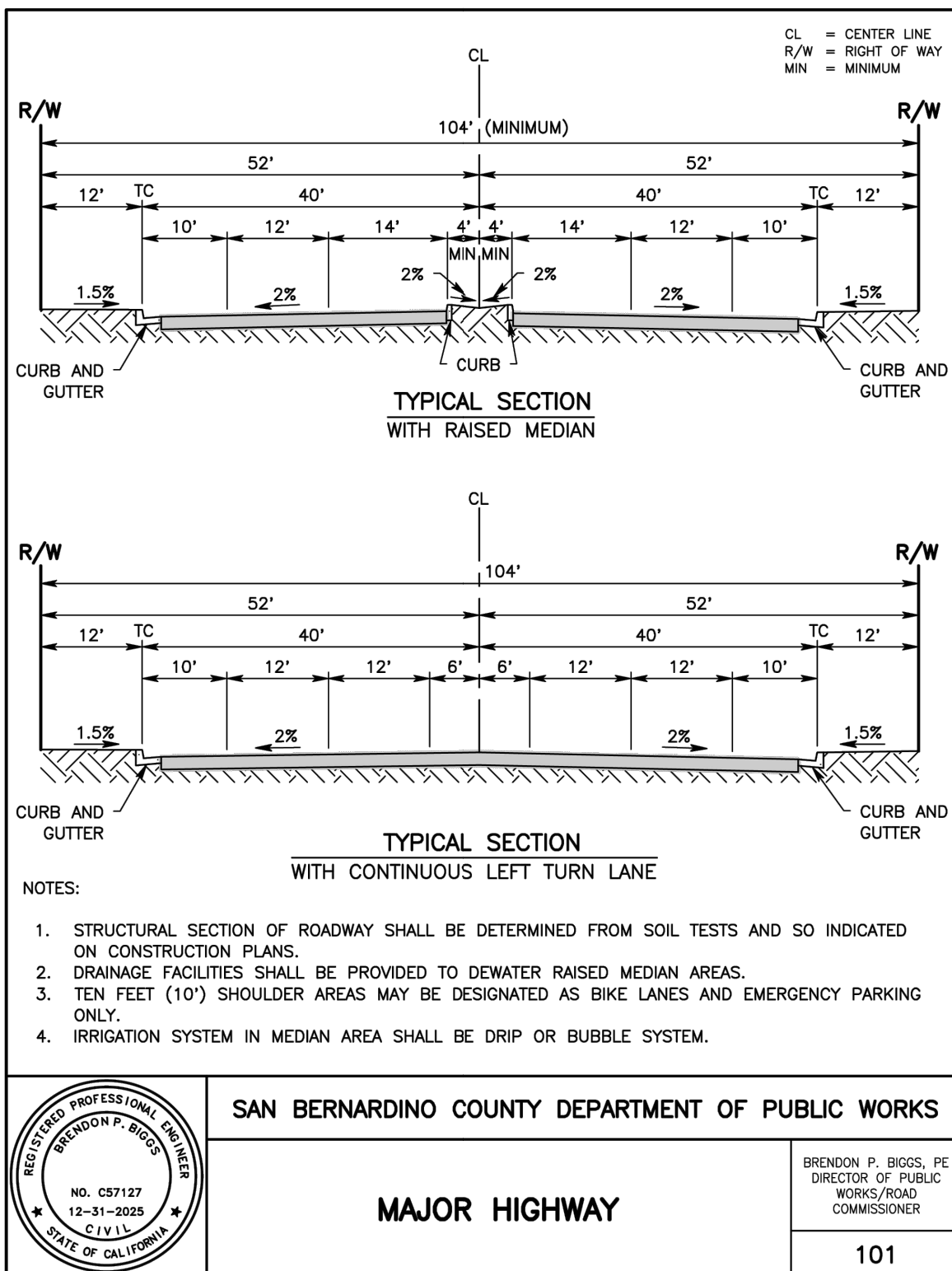
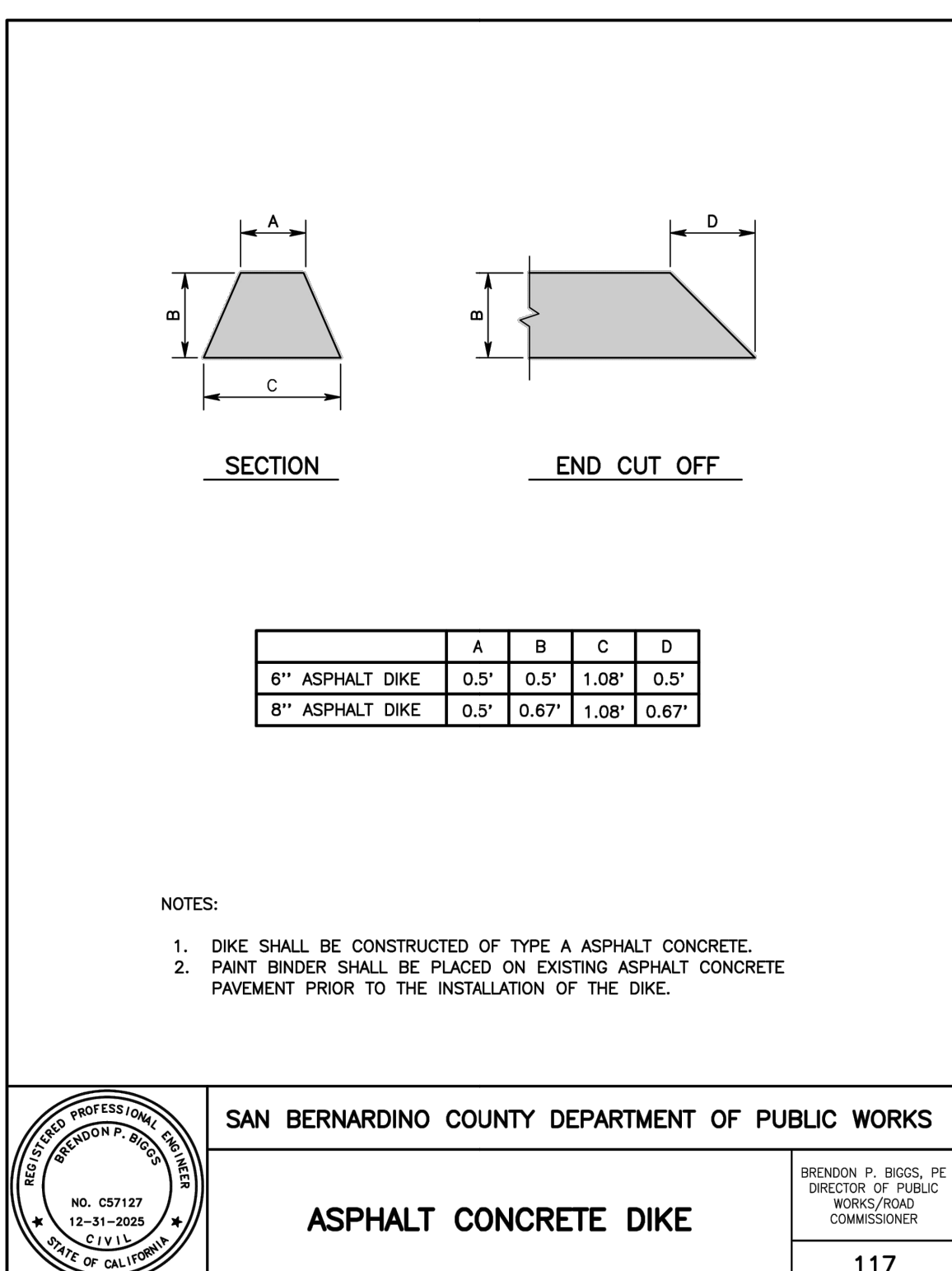
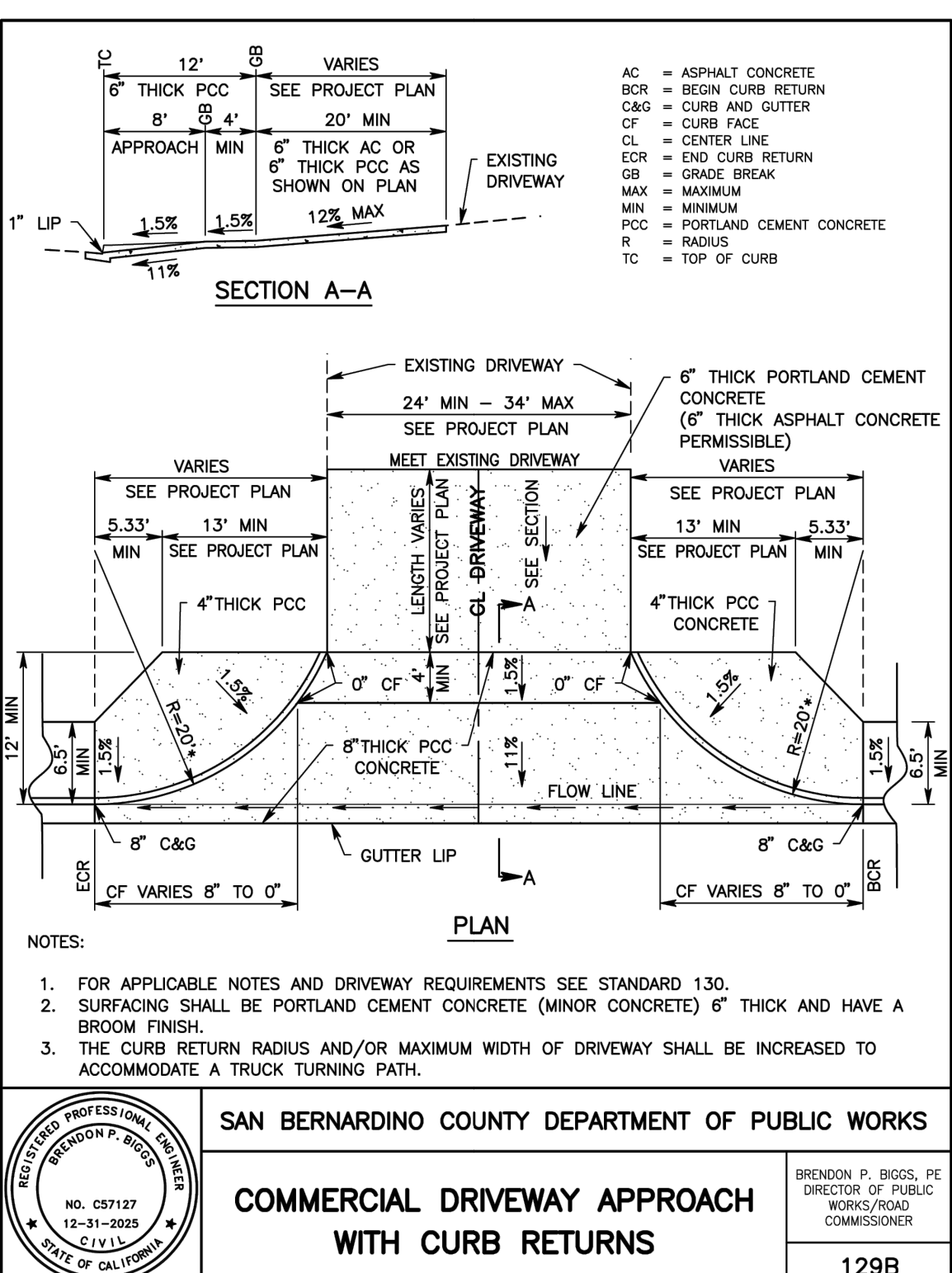
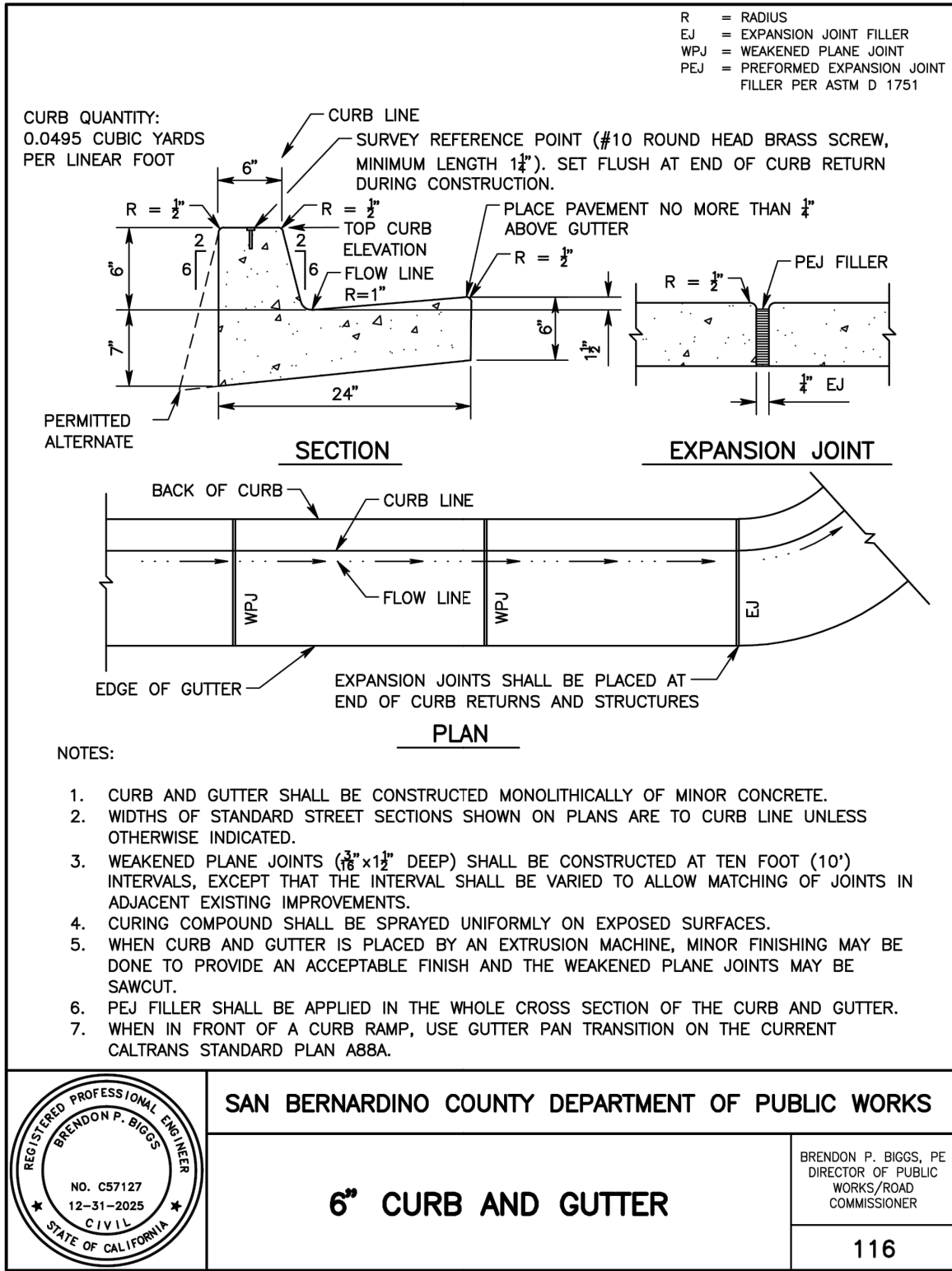
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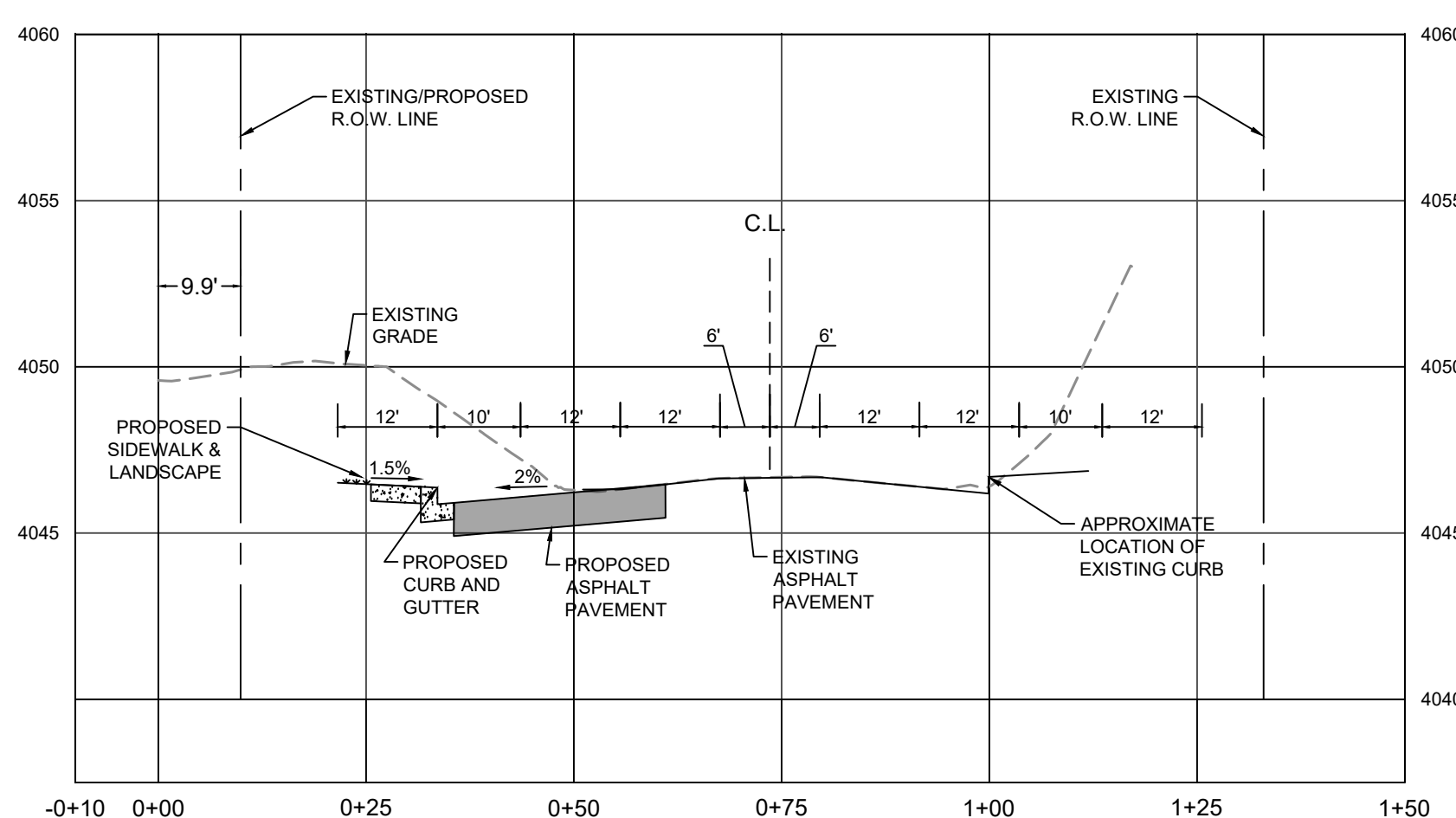
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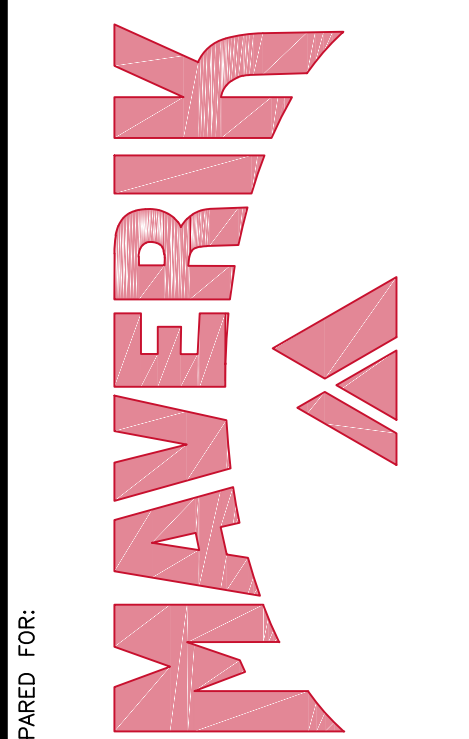


CROSS SECTION A-A' - BUCKTHORNE R



CROSS SECTION B-B' - OASIS RD

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REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
CONCEPTUAL SITE PLAN
FOR MAVERIK
PROGRAM

SITE LOCATION
10450 OASIS ROAD
PINON HILLS, CA 92372

ENGINEER SEAL

**NOT FOR
CONSTRUCTION**

SHEET TITLE
CONCEPTUAL CROSS
SECTION AND
STANDARD DETAILS

JOB #: MAV/36727-CIVIL
DATE: 11/10/2025
SCALE:
DRAWN BY: JOC
CHECKED BY: KCH

SHEET NO.
C2.0