



SECTION G

CONTRACT DRAWINGS

**KESSLER PARK
SNACK BAR & RESTROOM RENOVATION
PROJECT**

FOR

**BLOOMINGTON RECREATION & PARK DISTRICT
BLOOMINGTON, CALIFORNIA**

PROJECT NO.: 30.30.0135



1. CAP ALL EXISTING UTILITIES & PREPARE FOR NEW WORK AS REQUIRED.
2. PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO COMPLETE DEMOLITION WORK AS INDICATED ON DRAWINGS AND SPECIFICATIONS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
3. PATCH, REPAIR, AND RESTORE ALL AREAS DAMAGED BY THE CONSTRUCTION WORK AND DEMOLITION TO MATCH CONDITION OF ADJACENT UNDISTURBED SURFACES.
4. PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO COMPLETE DEMOLITION WORK AS INDICATED ON DWGS AND SPECIFICATIONS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
5. REMOVE FROM THE SITE ALL MATERIAL RESULTING FROM DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAW AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL. DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.
6. DISPOSAL OF ALL MATERIAL RESULTING FROM THE DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAW AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL. DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.

A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT. PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION, CAP AND REMOVE ALL ABANDONED PIPING.

B. ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK; SWITCHES; THERMOSTATS; AND OTHER EXISTING ELECTRICAL AND MECHANICAL DEVICES REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION, DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENT EQUIPMENT AND DEVICES. NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS. UNLESS NOTED OTHERWISE, ALL INSTALLATION SHALL MEET CURRENT BUILDING CODES.

C. PROVIDE NEW MATERIALS TO MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALITIES, AND COLORS AS EXISTING. ADJUST MATERIALS TO MATCH DAMAGED OR DEFACED FLOOR, WALL, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.

DOOR SCHEDULE																
NO.	DOOR	DOOR SIZE			DOOR		FRAME		OPERATED	HEAD	JAMB	THRESHOLD	HARDWARE SET		COMMENTS	ROOM NAME
		WIDTH	HEIGHT	THK.	TYPE	CONSTRUCT	FINISH	MATERIAL								
1	NEW	3' - 0"	7' - 0"	1 3/4"	A	HM	P-	HM	P-	N/A	25/12	26/12	12/10	4	LEVER, DEADBOLT, CLOSER, KICKPLATE, & SEALS	KITCHEN
2	NEW	3' - 6"	7' - 0"	1 3/4"	A	HM	P-	HM	P-	N/A	25/12	26/12	12/10	3	DEADBOLT, PUSH, PULL PLATE, & KICKPLATE. PROVIDE 2" UNDERCUT AT DOOR.	WOMEN'S
3	NEW	3' - 0"	7' - 0"	1 3/4"	A	HM	P-	HM	P-	N/A	25/12	26/12	12/10	3	LEVER, DEADBOLT, KICKPLATE, & SEALS	UTILITY ROOM
4	NEW	3' - 0"	7' - 0"	1 3/4"	A	HM	P-	HM	P-	N/A	25/12	26/12	12/10	4	DEADBOLT, PUSH, PULL PLATE, & KICKPLATE. PROVIDE 2" UNDERCUT AT DOOR.	MEN'S
5	NEW	3' - 0"	7' - 0"	1 3/4"	A	HM	P-	HM	P-	N/A	25/12	26/12	12/10	1	LEVER, DEADBOLT, CLOSER, KICKPLATE, & SEALS	OFFICE AREA
6	NEW	3' - 0"	6' - 8"	1 3/4"	A	HM	P-	HM	P-	N/A	23/12	24/12	N/A	2	LEVER, DEADBOLT, CLOSER, KICKPLATE, & SEALS	B.L.L. STORAGE
7	NEW	2' - 8"	6' - 8"	1 3/4"	A	HM	P-	HM	P-	N/A	23/12	24/12	N/A	2	LEVER, DEADBOLT, KICKPLATE, & SEALS	B.L.L. STORAGE
8	NEW	2' - 8"	6' - 8"	1 3/4"	A	HM	P-	HM	P-	N/A	23/12	24/12	N/A	2	LEVER, DEADBOLT, KICKPLATE, & SEALS	WASH AREA

(A) FLUSH

 DETAIL NUMBER
 SHEET NUMBER
 SECTION LETTER
 SHEET NUMBER
 ELEVATION LETTER
 ELEVATION NUMBER
 SHEET NUMBER
 ROOM NAME
 ROOM NUMBER
 DOOR NUMBER
 FINISH MATERIAL

	STORAGE PROVIDED BY CONTRACTOR ON SITE FOR RE-INSTALLATION PER RENOVATION PLAN. PROVIDE TO OWNER ANY APPLIANCES OR ACCESSORIES THAT ARE NOT TO BE RE-INSTALLED.
AA	REMOVE EXISTING METAL BOX. PREPARE AREA FOR NEW WORK.
B	REMOVE EXISTING FLOOR SINK AND PREPARE FOR NEW TYPE. SEE PLUMBING DRAWING FOR FURTHER INFORMATION.
BB	REMOVE EXISTING CMU BLOCK "V" SEAT WALL. PROTECT ADJACENT CONCRETE PAVEMENT. PATCH AND PREPARE FOR NEW WORK.
C	REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED FITTINGS. CAP UTILITY LINES BELOW WALL/FLOOR SURFACES AS REQUIRED. RECONNECT PIPING TO NEW FIXTURES SHOWN ON RENOVATION PLAN. PATCH AND REPAIR IMPACTED WALL/FLOOR SURFACES.
CC	REMOVE EXISTING ROLL-UP METAL DOOR. CLEAN, SAND TO A SMOOTH SURFACE, AND PREPARE FOR NEW PAINT.
D	REMOVE EXISTING ROOM ID SIGNAGE FROM WALL AND PREPARE SURFACE FOR NEW PAINT.
EE	REMOVE EXISTING ELECTRICAL PANEL AND PREPARE FOR NEW TYPE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
F	SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE SLAB FOR NEW CONNECTIONS, SUCH AS SEWER, ELECTRICAL AND PROVIDE NEW TRENCHING AREA FOR UNDERGROUND PLUMBING, ELECTRICAL AND FOR NEW WORK. VERIFY EXTENT OF REMOVAL IN FIELD.
FF	REMOVE EXISTING HOSE BIB AND PREPARE FOR NEW TYPE.
G	REMOVE EXISTING WOOD STUD WALL AND ASSOCIATED FINISHES AND OR ACCESSORIES. PATCH WALL OR FLOOR AND PREPARE FOR NEW WORK.
GG	REMOVE EXISTING PARK SIGN. SAVE, AND RE-INSTALL AFTER PAINTING OF BUILDING AT SAME LOCATION.
H	REMOVE EXISTING METAL DOOR AND METAL FRAME.
II	REMOVE EXISTING GYP. BD. AT WALL.
J	REMOVE EXISTING SLIDING WINDOW PREPARE FOR NEW WORK. PREPARE AREA FOR NEW WORK.
JJ	CLEAN EXISTING CONCRETE FLOOR.
L	SAWCUT AND REMOVE PORTION OF EXISTING CMU WALL AS REQUIRED FOR NEW WORK.
M	REMOVE EXISTING FLOOR TILE. PREPARE AREA FOR NEW WORK.
N	REMOVE EXISTING BUILT IN COUNTER OR BUILT IN STORAGE CABINET AND COUNTERTOP.
O	TYPICAL. REMOVE EXISTING ASSOCIATED FINISHES, HOOKS, FROM EXISTING CMU WALL. PATCH WALL TO MATCH ADJACENT FINISH TEXTURE AS REQUIRED FOR NEW FINISH. SEE FINISH MATERIAL SCHEDULE.
P	REMOVE EXISTING TOILET PARTITIONS AND ATTACHED TOILET ACCESSORIES.
R	REMOVE ALL EXISTING COVE BASE WALL TILE AND SUBSTRAIGHT.
S	CONTRACTOR TO COORDINATE W/ OWNER PRIOR TO REMOVAL OF SPEAKER. REMOVE SPEAKER, SEE, AND RE-INSTALL AS DIRECTED BY OWNER. PREPARE WALL FOR NEW ELECTRICAL WORK.
T	SAWCUT, GRIND, AND REMOVE EXISTING CONCRETE STEPS, METAL HANDRAILS AND SAW CUT CONCRETE SLAB. PATCH AND REPAIR CMU WALL AND PREPARE FOR NEW PAINT.
U	REMOVE EXISTING WALL MOUNTED MIRROR.
V	REMOVE EXISTING BABY CHANGING TABLE.
X	REMOVE EXISTING SOAP DISPENSER.
X	REMOVE EXISTING PAPER TOWEL DISPENSER.
Y	REMOVE EXISTING TOILET PAPER DISPENSER.
Z	REMOVE EXISTING GRAB BAR.

1	NEW FLOOR DRAIN WITH CLEAN-OUT, FLOOR SLOPES NOT TO EXCEED 1.5% IN ANY DIRECTION.
2	NEW WOOD STUD WALL FURRING W/ 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS, PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING.
4	NEW STAINLESS STEEL SHELF.
5	PROVIDE NEW 6" HIGH COVED BASE TILE AT WALLS.
6	NEW FLOOR MOUNTED PORCELAIN WATER CLOSET WITH CONCEAL FLUSH-METER W/ PUSH BUTTON, SEE PLUMBING SCHEDULE.
7	NEW WALL MOUNTED PORCELAIN LAVATORY WITH METER FAUCET AND PIPE INSULATION TO FLOOR. PROVIDE DRAINAGE PIPES AND EXPOSED SHARP/ABRASE SURFACES UNDER THE LAVATORY WITH A WHITE PVC/LV SHIELD, SEE FIXTURE SCHEDULE.
8	NEW WALL MOUNTED PORCELAIN URINAL WITH CONCEAL FLUSHMETER W/ PUSH BUTTON, SEE PLUMBING FIXTURE SCHEDULE.
9	NEW FLOOR MOUNTED STAINLESS STEEL MOP SINK; 24" WIDE BY 20" DEEP BY 16" HIGH SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION.
10	PROVIDE 80"WIDE X 36"HIGH LOW PROFILE SINGLE PANEL SELF-CLOSE SLIDER ANODIZE ALUMINUM WINDOW READY ACCESS OR EQUAL TO PROVIDE 1/4" CLEAR TEMPERED GLASS, WITH SERVICE OPENING UNDER 432 SQUARE INCHES.
11	NEW EPOXY PAINT AT FLOOR, SEE FINISH MATERIAL SCHEDULE.
12	PROVIDE NEW TACTILE ROOM ID SIGNGAGE FOR RESTROOMS AT NEW LOCATION ON WALL- PROVIDE 24" AND 48" COMPLYING RESTROOM SIGNGAGE, PATCH AND REPAIR WALL FINISHES AND SUBSTRATES MATERIALS DAMAGED BY RETROFIT WORK TO MATCH CONDITION OF ADJACENT UNDISTURBED SURFACES.
13	PROVIDE 64"WIDE X 36"HIGH LOW PROFILE SINGLE PANEL SELF-CLOSE SLIDER ANODIZE ALUMINUM WINDOW READY ACCESS OR EQUAL TO PROVIDE 1/4" CLEAR TEMPERED GLASS, WITH SERVICE OPENING UNDER 432 SQUARE INCHES.
14	SEE RHA'S CORRIDOR IMP PLANS FOR NEW PAVERS FOR WIFFLE-BALL DIAMOND AND FOR COORDINATION OF WORK AND ADDITIONAL INFORMATION.
16	NEW SOLID PHENOLIC TILES PARTITIONS, SEE FINISH MATERIAL SCHEDULE.
17	NEW SOLID PHENOLIC TILES PARTITIONS @ 23" DEEP, SEE FINISH MATERIAL SCHEDULE.
18	PROVIDE FLUSH AND MATCHING LEVELS BETWEEN OLD AND NEW CONCRETE SLABS.
19	NEW FIRE EXTINGUISHER, SURFACE MOUNTED.
20	NEW FLOOR SINK TO BE FLUSH WITH CONCRETE FINISH FLOOR SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION.
23	PROVIDE RECESS FIRST AID KIT MODEL-ZOLL RECESSED WALL MOUNTING CABINET 8000-0814.
27	NEW 4" THICK CONCRETE SLAB WITH #3 REBARS 18" O.C. BOTH WAYS, OVER 1" SAND OVER 6 MIL VISQUEEN OVER 2" SAND, WALKWAY SLOPE TO BE 1% MIN. AND 2% MAX. UNLESS OTHERWISE NOTED.
29	NEW WALL TILE OVER NEW 5/8" CEMENT BOARD, SEE MATERIAL SCHEDULE & INTERIOR ELEVATIONS.
35	NEW SURFACE MOUNTED HAND DRYER, EXTEND ELECTRICAL WIRES FROM ADJACENT BOX.
39	NEW CASH REGISTERS (POS) PROVIDED BY OWNER, CONTRACTOR TO PROVIDE ELECTRICAL OUTLET/POWER READY FOR USE.
41	NEW ELECTRICAL SUB PANEL, SEE ELECTRICAL DRAWINGS.
44	RE-INSTALL EXISTING SIGN AT SAME LOCATION; PROVIDE NEW VANDAL RESISTANT SCREWS TO SECURE SIGNAGE AT WALL.
21	NEW DOOR AND DOOR FRAME, AND HARDWARE, SEE DOOR SCHEDULE.
27	PROVIDE 80"W X 36"H DUAL PANEL SELF CLOSE SLIDER ANODIZE ALUMINUM COMMERCIAL WINDOW BOYD ALUMINUM MANUF., SERIES 900 OR EQUAL TO PROVIDE 1/4" THICK CLEAR TEMPERED GLASS LOW-E CLASS.
28	INFILL WINDOW OPENING WITH 8x8x16 CMU TO MATCH EXISTING WALL AND ADJACENT FINISH.
36	NEW KITCHEN EQUIPMENT, SEE EQUIPMENT FLOOR PLAN.
47	NEW ELECTRIC COMMERCIAL WATER HEATER TANK TYPE, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
48	PROVIDE NEW R-13 WALL INSULATION AND CONCRETE BOND/TILE AT EXISTING WALL, PATCH AND REPAIR TO MATCH ADJACENT WALL AND TO RECEIVE NEW PAINT FINISH AT OTHER SIDE.
49	PROVIDE NEW HOSE BIB TO MATCH EXISTING ONE AND SECURE EXISTING SUPPLY PIPE TO EXISTING BUILDING WALL.
50	RE-INSTALL EXISTING VANDAL PROOF METAL DOOR AND PAINT, SEE FINISH MATERIAL SCHEDULE FOR PAINT TYPE AND COLOR.
51	PROVIDE NEW ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
53	PROVIDE NEW METAL LADDER FOR ACCESS TO ROOF AND ATTACHED TO WOOD STUD WALL PER MANUFACTURE RECOMMENDATIONS.
55	NEW WOOD STUD WALL FURRING W/ FRP SYSTEM OVER 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS, PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING.



KESSLER PARK SNACK BAR
SNACK BAR, RESTROOM REMODEL
& NEW SHADE STRUCTURE
18401 JURUPA AVE, BLOOMINGTON, CA 92316

[illegible]

Designer:	LA
CAD Draft:	LN
Architect:	LOK
Engineer:	EDA
Client:	BLOOMINGTON CITY
Date Issued:	3-13-2023
Job Number:	2939

- DEMOLITION & RENOVATION
- FLOOR PLAN



A2.0

1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900

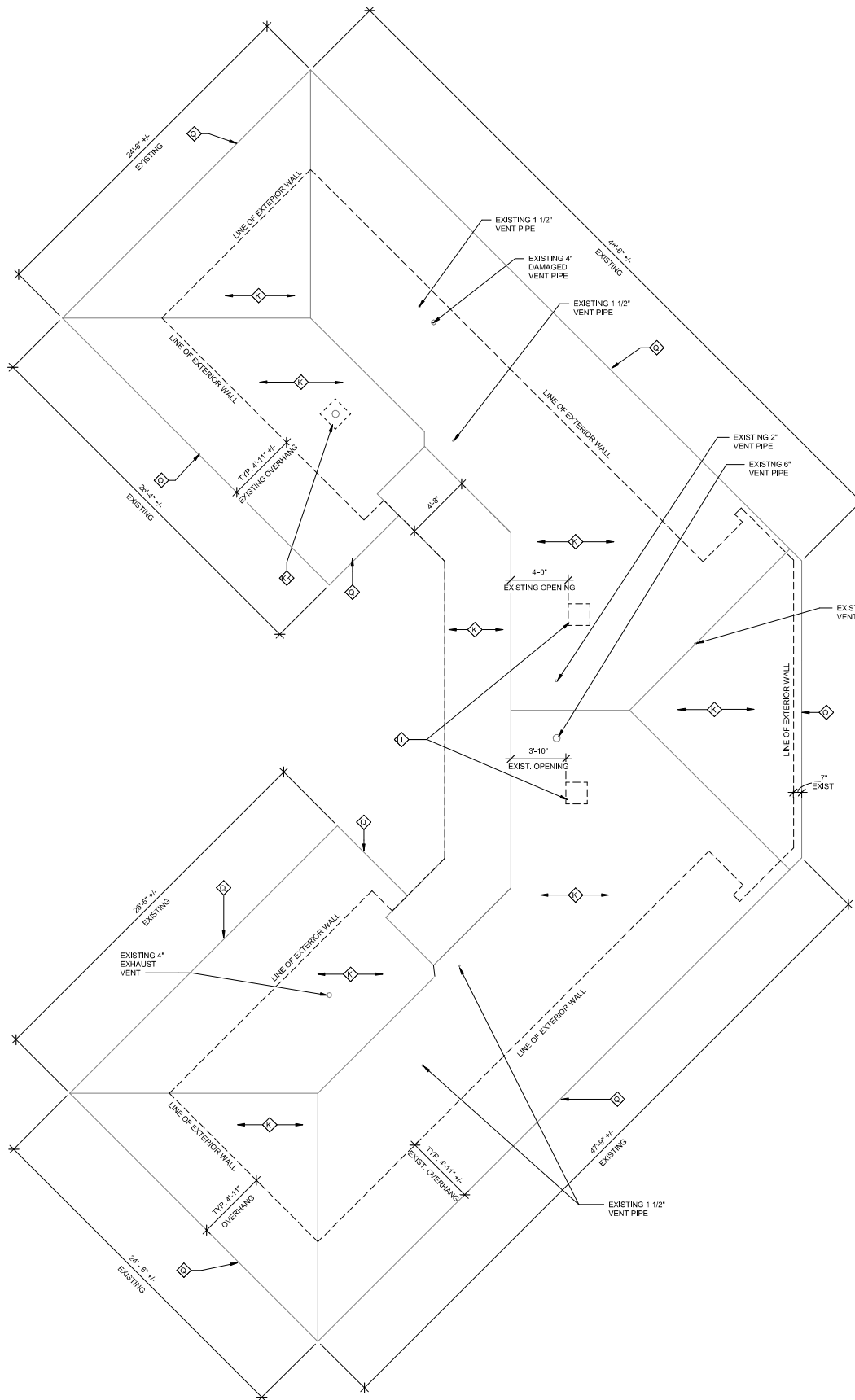


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|---|---|
|  | 12"X48" RECESSED LED LIGHT FIXTURE |
|  | 12"X12" RECESSED LED VANDAL RESISTANT LIGHT FIXTURE OR AS NOTED, SEE ELECTRICAL DRAWING |
|  | 6" RECESSED LED DOWNLIGHT FIXTURE |
|  | SQUARE RETURN REGISTER, SEE MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFORMATION |
|  | SQUARE SUPPLY REGISTER, SEE MECHANICAL DRAWINGS FOR SIZE AND ADDITIONAL INFORMATION |

- | | |
|---|--|
|  | EXISTING WALL TO BE DEMOLISHED |
|  | EXISTING 8" CMU WALL TO REMAIN, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION. |
|  | EXISTING WALL TO REMAIN, PROVIDE NEW R-13 BATT INSULATION, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION. |
|  | NEW 2x4 WOOD STUD WALL, OR FURRED WALL @ 16" O.C. WITH R-13 BATT INSULATION AND FINISHES PER ROOM SCHEDULE. |
|  | NEW 8" CMU WALL WITH FINISHES PER ROOM SCHEDULE |

- A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT, PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION, CAP AND REMOVE ALL ABANDONED PIPING.
- B. ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTATE AND PROPERLY RECONNECT EXISTING DUCTWORK; SWITCHES; THERMOSTATS; AND OTHER EXISTING ELEC./MECH. EQUIPMENT AND DEVICES REMOVED DURING REMOVAL OF DEVICES, NOT TO BE REMOVED, REINSTATE ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION, DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENT OR SUPERIOR EQUIPMENT AND DEVICES, NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE, ALL INSTALLATION SHALL MEET CURRENT BUILDING CODES.
- C. PROVIDE NEW MATERIALS TO MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION, NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALITIES, AND COLORS AS EXISTING ADJACENT MATERIALS, ALL DAMAGED OR DEFACED FLOOR, WALL, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.

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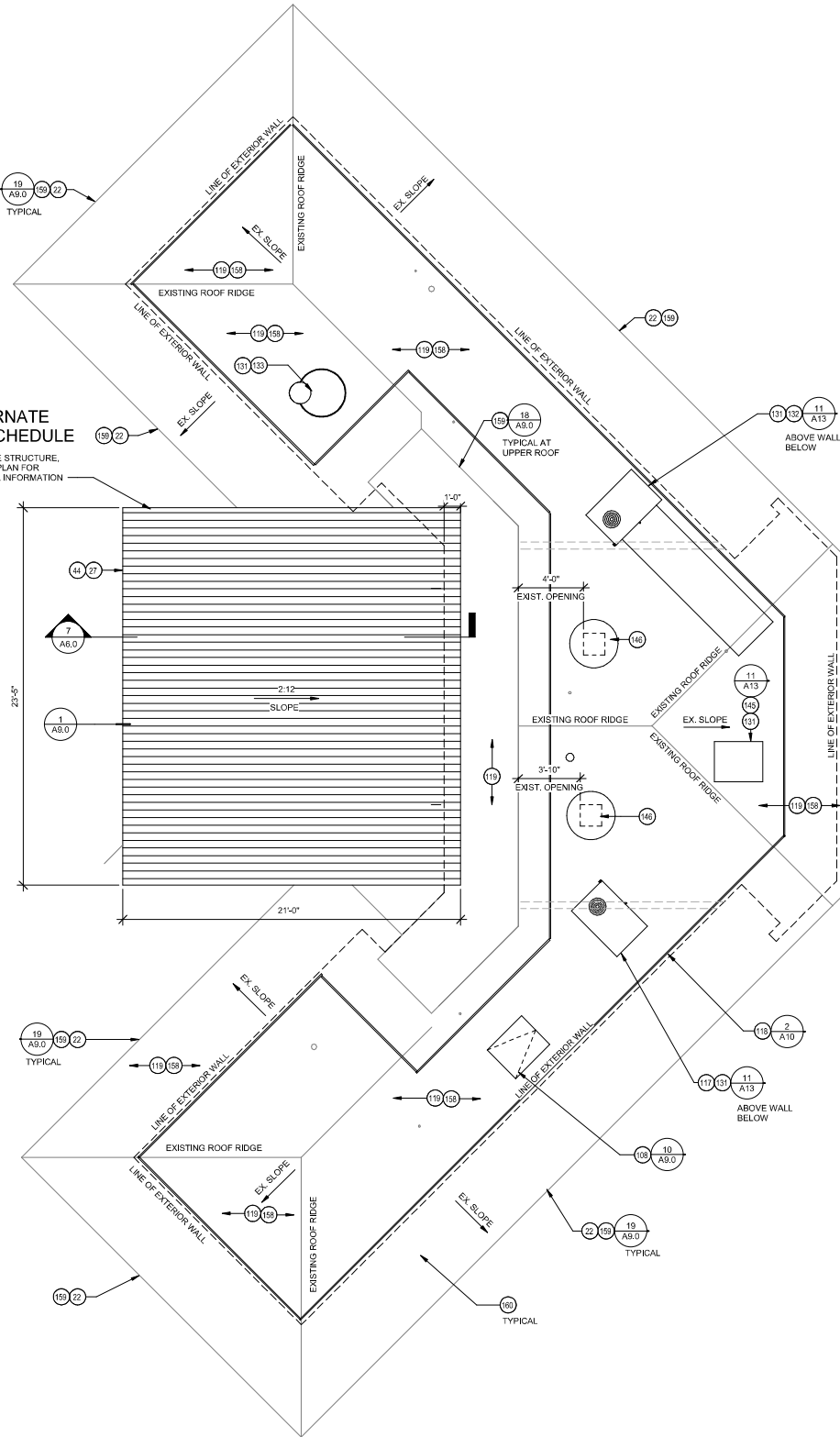


1 DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



ALTERNATE BID SCHEDULE

NEW SHADE STRUCTURE. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.



- NOTE:
- SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATION OF ROOF EQUIPMENT AND DUCTS LAYOUT.
 - PROVIDE NEW FLASHING AS REQUIRED AT ALL ROOF PENETRATIONS, PIPES, & VENTS.
 - REPLACE ALL ROTTED FASCIA AND PLYWOOD AS NEEDED.

2 RENOVATION ROOF PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION KEYNOTES

- K REMOVE EXISTING BUILT UP ROOFING, FLASHING SYSTEM, FELT PAPER, AND PREPARE FOR NEW WORK.
- KK REMOVE EXISTING ROOF VENT TRIMS.
- LL SAWCUT EXISTING ROOF FRAMING AND PREPARE AREA FOR NEW WORK. FIELD VERIFY OPENING SIZE WITH NEW ROOF HATCH.
- Q REMOVE EXISTING WOOD FASCIA AND PREPARE FOR NEW WORK.

RENOVATION KEYNOTES

- 22 PROVIDE NEW 2X PRIMED MIRATEC COMPOSITE FASCIA, PAINT TO BE SELECTED BY ARCHITECT.
- 27 NEW SHADE STRUCTURE. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- 44 NEW STANDING SEAM GALVANIZE METAL ROOFING OVER NEW ROOF UNDERLAYMENT, NEW PLYWOOD, AND NEW T&G ROOF DECK.
- 108 PROVIDE NEW 14 GAUGE GALVANIZE STEEL W/ 1" INSULATION, 36"x30" ROOF HATCH WITH NEW FLASHING AND FASTENERS.
- 117 NEW ROOF TOP HEAT PUMP UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 118 NEW 6'-0" HIGH VANDAL RESISTANT ROOF SCREEN WITH PERFORATED ALUMINUM METAL PANELS A13 GATEN SERIES BY ATAS INTERNATIONAL OR EQUAL.
- 119 PROVIDE NEW SINGLE PLY PVC/TOP ROOFING SYSTEM MEMBRANE OVER NEW DENSDECK BOARD, GAF OR EQUAL. PROVIDE NEW GALVANIZE FLASHING AS REQUIRED AND PAINT PER FINISH SCHEDULE. ROOFING MATERIAL TO COMPLY WITH ICC LISTING REPORT NUMBER ESR-2852.
- 131 PROVIDE NEW 14" HIGH CURB EQUIPMENT PLATFORM, AS REQUIRED.
- 132 NEW ROOF TOP PACKAGED MAKEUP AIR UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 133 NEW ROOF TOP PACKAGED GREASE EXHAUST FAN UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 145 NEW ELECTRICAL TRANSFORMER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 146 PROVIDE NEW SHEET METAL VENT TO REPLACE AND MATCH EXISTING.
- 158 INSTALL NEW RUBBER CONDUIT BLOCKS UNDER ALL EXISTING CONDUITS, WATER LINES, AND GAS LINES.
- 159 NEW G.I. SHEET METAL EDGE FLASHING, PAINT TO MATCH EXISTING FLASHING.
- 160 TYPICAL THROUGH ROOF. PROVIDE NEW FLASHING AT ALL PIPE, DUCTS, AND VENTS AS REQUIRED. EXTEND EXISTING PIPE VENT ABOVE ROOF TO CONFORM WITH MIN. CODE REQUIREMENTS.

DEMOLITION NOTES

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- REMOVE FROM THE SITE ALL MATERIAL RESULTING FROM THE DEMOLITION WORK IN SUCH A MANNER AS TO AVOID CREATING A NUISANCE. DISPOSE OF ALL MATERIALS FROM THE SITE ON A DAILY BASIS AT NO ADDITIONAL COST TO THE OWNER.
- DISPOSE OF ALL MATERIAL RESULTING FROM THE DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL; DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.

RENOVATION NOTES

- MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FUTURE LAYOUT. PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.
- ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK, SWITCHES, THERMOSTATS, AND OTHER EXISTING ELEC./MECH. EQUIPMENT AND DEVICES REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION. DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENT EQUIPMENT AND DEVICES. NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURRENT BUILDING CODE.
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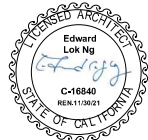
WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING 8" CMU WALL TO REMAIN. PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION.
- EXISTING WALL TO REMAIN, PROVIDE NEW R-13 BATT INSULATION, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION.
- NEW 2x4 WOOD STUD WALL OR FURRED WALL @ 16" O.C. WITH R-13 BATT INSULATION AND FINISHES PER ROOM SCHEDULE.
- NEW 8" CMU WALL WITH FINISHES PER ROOM SCHEDULE

NO.	DATE	REV.	BY	CHK.

Designer:	LOK
CAD Draft:	IN
Architect:	LOK
Engineer:	EDA
Client:	BLOOMINGTON CITY
Date Issue:	3-13-2023
Job Number:	2339

• DEMOLITION & RENOVATION
• ROOF PLAN



**RETAIL FOOD PLAN REVIEW NOTES**

- NOTE: ANY DEVIATIONS FROM THESE APPROVED FLOORING AND COVERED BASE COMBINATIONS MUST BE APPROVED PRIOR TO INSTALLATION. CONTACT PLAN CHECK AT 1-800-442-2283 WITH ANY QUESTIONS.

- ## A5.0

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WALL LEGEND

- | Legend | EXISTING WALL TO BE DEMOLISHED |
|---|--|
|  | EXISTING 8" CMU WALL TO REMAIN, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION. |
|  | EXISTING WALL TO REMAIN, PROVIDE NEW R-13 BATT INSULATION, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION. |
|  | NEW 2x4 WOOD STUD WALL OR FURRED WALL @ 16" O.C. WITH R-13 BATT INSULATION AND FINISHES PER ROOM SCHEDULE. |
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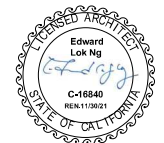
○	RENOVATION KEYNOTES
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|-----|--|
| 22 | PROVIDE NEW 2X PRIMED MIRATEC COMPOSITE FASCIA. PAINT TO BE SELECTED BY ARCHITECT. |
| 27 | NEW SHADE STRUCTURE. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION. |
| 44 | NEW STANDING SEEM GALVANIZED METAL ROOFING OVER NEW ROOF UNDERLAYMENT, NEW PLYWOOD, AND NEW T&G ROOF DECK. |
| 129 | PROVIDE PRESSURE TREATED WOOD FRAMING. SEE STRUCTURAL SHEET FOR SIZES. |
| 130 | PROVIDE NEW PAINTED 4x6 TUBE STEEL COLUMN. SEE STRUCTURAL SHEET FOR SIZES. |
| 134 | NEW RECESS MOUNTED LED VANDAL RESISTANT LIGHT FIXTURES WITH CAST ALUMINUM BODY. PROVIDE NEW CONCEAL CONDUIT, J-BOX, STUB-OUT, AND ELECTRIC WIRES FOR LIGHT FIXTURE CONNECTION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 140 | NEW CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. |
| 141 | EXISTING CMU BUILDING WALL: PROTECT IN PLACE. |
| 142 | EXISTING CONCRETE PAVEMENT TO REMAIN. |
| 156 | REMOVE EXISTING DOOR AND DOOR FRAME. INFILL OPENING WITH 8x8x16 CMU TO MATCH EXISTING WALL AND ADJACENT FINISH. |

RENOVATION NOTES

- A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT. PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.
- B. ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK; SWITCHES; THERMOSTATS; AND OTHER EXISTING ELEC./MECH. EQUIPMENT AND DEVICES. NEWLY PURCHASED EQUIPMENT NOT INDICATED TO BE REMOVED, REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION. DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENTS TO MATCH EXISTING EQUIPMENT, EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURRENT ENEC CODES.
- C. PROVIDE NEW MATERIALS TO MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALITIES, AND COLORS AS EXISTING. ADJUSTED, REPAIRED, OR REPAINTED, DAMAGED OR DEFAUCED FLOOR, WALL, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.

• SHADE STRUCTURE



ALTERNATE BID

A6.0

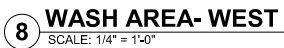
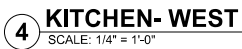
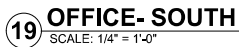
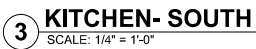
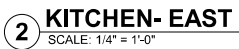
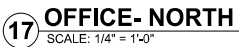
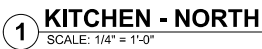
KESSLER PARK SNACK BAR

SNACK BAR, RESTROOM REMODEL
& NEW SHADE STRUCTURE

18401 JURUPA AVE., BLOOMINGTON, CA 92316

BOA^o
Architecture
Interiors
Planning

1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900



- | O | RENOVATION KEYNOTES |
|-----|---|
| 2 | NEW WOOD STUD WALL FURRING W/ 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS. PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING. |
| 5 | PROVIDE NEW 6" HIGH COVERED BASE TILE AT WALLS. |
| 6 | NEW CONCREAT MOUNTED PORCELAIN WATER CLOSET WITH CONCEAL FLUSHMETER W/ PUSH BUTTON, SEE PLUMBING SCHEDULE. |
| 7 | NEW WALL MOUNTED PORCELAIN LAVATORY WITH METE/Faucet and PIPE INSULATION TO FULLY COVER DRAIN/WATER PIPES and EXPOSED SHARP/ABRASIVE SURFACES UNDER THE LAVATORY WITH A WHITE PVC LAV SHIELD, SEE FIXTURE SCHEDULE. |
| 8 | NEW WALL MOUNTED PORCELAIN URINAL WITH CONCEAL FLUSHMETER W/ PUSH BUTTON, SEE PLUMBING FIXTURE SCHEDULE. |
| 9 | NEW FLOOR MOUNTED STAINLESS STEEL MOP SINK; 24" WIDE BY 20" DEEP BY 16" HIGH SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION. |
| 11 | NEW EPOXY PAINT AT FLOOR, SEE FINISH MATERIAL SCHEDULE. |
| 13 | PROVIDE 64"WIDE X 36"HIGH LOW PROFILE SINGLE PANEL SELF-CLOSE SLIDER ANODIZE ALUMINUM WINDOW READY TO BE EQUIP TO PROVIDE 1/4" CLEAR TEMPERED GLASS, WITH SERVICE OPENING UNDER 432 SQUARE INCHES. |
| 16 | NEW SOLID PHENOLIC TOILET PARTITIONS, SEE FINISH MATERIAL SCHEDULE. |
| 17 | NEW SOLID PHENOLIC URINAL PARTITIONS @ 23" DEEP, SEE FINISH MATERIAL SCHEDULE. |
| 30 | NEW FIRE EXTINGUISHER, SURFACE MOUNTED. |
| 41 | NEW STAINLESS STEEL SURFACE MOUNTED SOAP DISPENSER. |
| 63 | PROVIDE RECESS FIRST AID KIT MODEL:ZOLL RECESSED FIRST AID KIT CABINET 800-804. |
| 79 | NEW CASH RECEIPTS (POS) PROVIDED BY OWNER, CONTRACTOR TO PROVIDE ELECTRICAL OUTLET/POWER READY FOR USE. |
| 121 | NEW DOOR AND DOOR FRAME, AND HARDWARE, SEE DOOR SCHEDULE. |
| 127 | PROVIDE 80"W X 36"H DUAL PANEL SELF-CLOSE BLIND ANODIZE ALUMINUM COMMERCIAL WINDOW BOYD ALUMINUM MANUF., SERIES 900 OR EQUAL TO PROVIDE 1/4" THICK CLEAR TEMPERED GLASS-LOW E-GLASS. |
| 143 | NEW COMMERCIAL EXHAUST KITCHEN HOOD WITH ANSEL FIRE SUPPRESSANT SYSTEM, SEE EQUIPMENT SCHEDULE ON SHEET A5.0 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 155 | NEW WOOD STUD WALL FURRING W/ FRP SYSTEM OVER 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS. PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING. |
| 161 | NEW STAINLESS STEEL PANELS TO BE PROVIDED BEHIND KITCHEN EXHAUST HOOD ON FURR WALL OVER GYP BOARD AND ON SIDE CMU WALL FROM FINISH FLOOR UP TO CEILING. |

A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT. PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION, CAP AND REMOVE ALL ABANDONED PIPING.

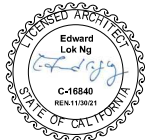
B. ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK, SWITCHES, THERMOSTATS, AND OTHER EXISTING ELEC./MECH. EQUIPMENT AND DEVICES. REMOVE AND DISCARD EQUIPMENT AND DEVICES TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION. DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENT EQUIPMENT AND DEVICES. NEW EQUIPMENT AND DEVICES SHALL BE IDENTICAL TO THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURRENT BUILDING CODE.

C. PROVIDE NEW PERMANENT MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALITIES, AND COLORS AS EXISTING. ADJACENT WALLS, FLOORS, REPAIRS, DAMAGED OR DEGRADED FLOORS, WALLS, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.

NOTE: SEE SHEET A5.0 FOR
EQUIPMENT SCHEDULE.

Designer:	Designer
CAD Draft:	Author
Architect:	Checker
Engineer:	Approver
Client:	BLOOMINGTON CITY
Date Issue:	3-13-2023
Job Number:	2839

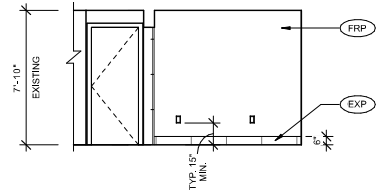
► INTERIOR ELEVATIONS



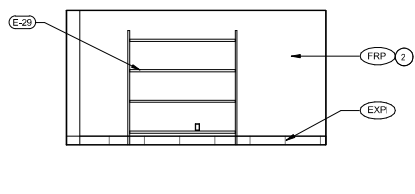
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KESSLER PARK SNACK BAR
SNACK BAR, RESTROOM REMODEL
& NEW SHADE STRUCTURE

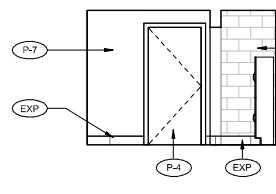
1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900



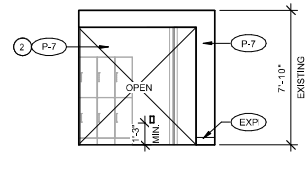
5 B.L.L. STORAGE - NORTH
SCALE: 1/4" = 1'-0"



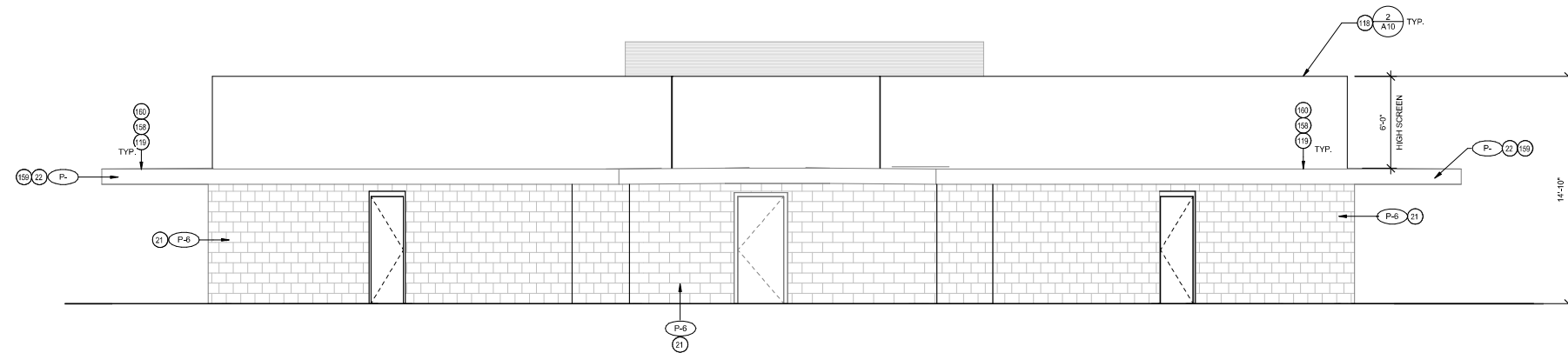
6 B.L.L. STORAGE - EAST
SCALE: 1/4" = 1'-0"



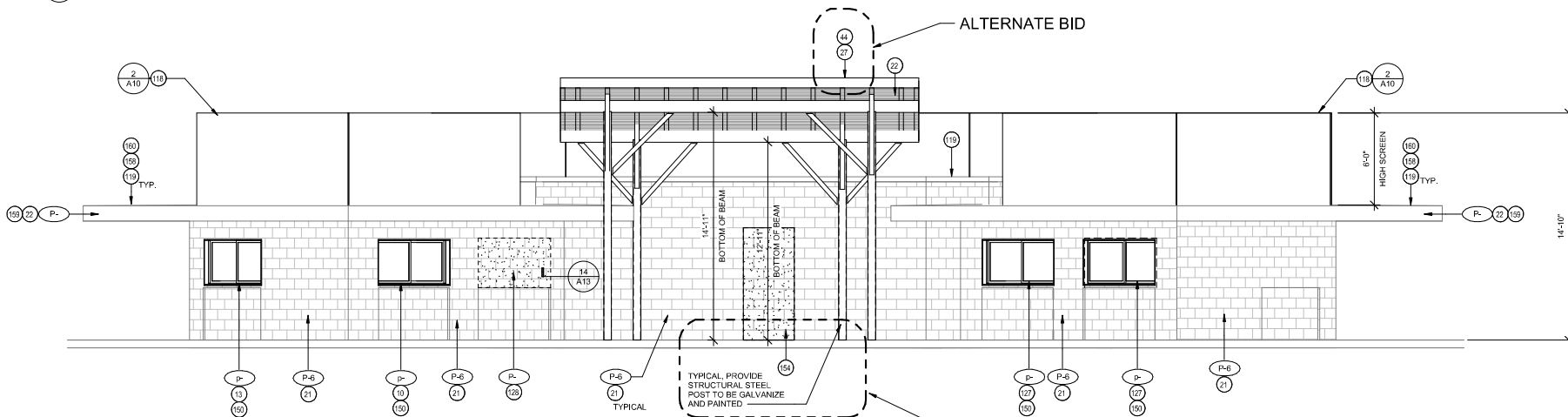
7 B.L.L. STORAGE - SOUTH
SCALE: 1/4" = 1'-0"



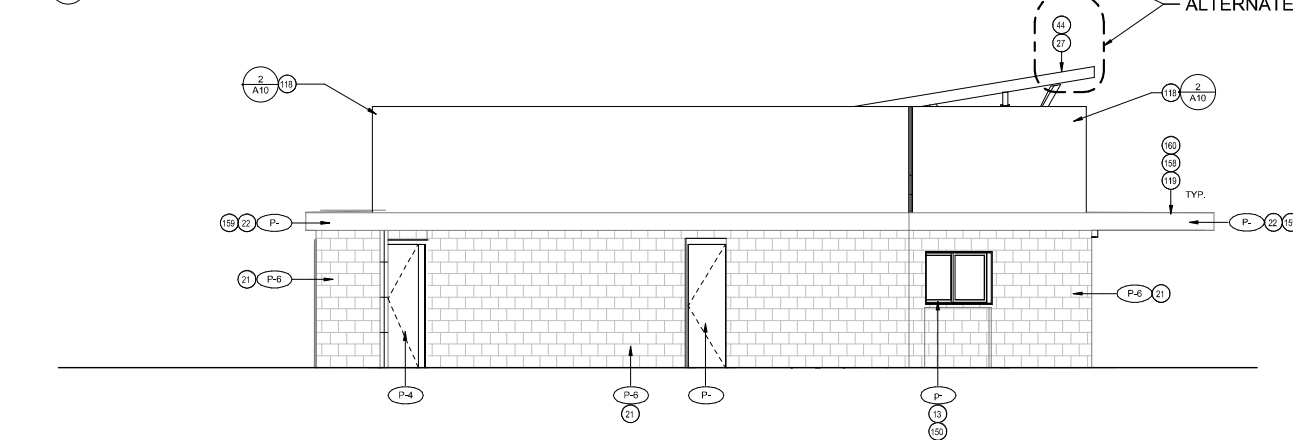
8 B.L.L. STORAGE - WEST
SCALE: 1/4" = 1'-0"



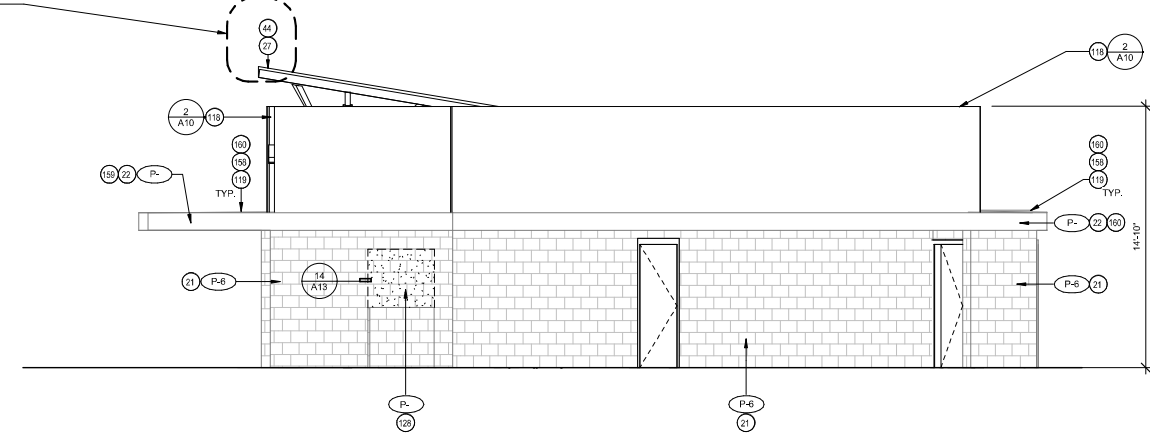
9 EAST ELEVATION
SCALE: 1/4" = 1'-0"



10 WEST ELEVATION
SCALE: 1/4" = 1'-0"



11 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



12 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- ### RENOVATION KEYNOTES
- 2 NEW WOOD STUD WALL FURRING W/ 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS, PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING.
 - 10 PROVIDE 80"WIDE X 36"HIGH LOW PROFILE SINGLE PANEL SELF-CLOSE SLIDER ANODIZE ALUMINUM WINDOW READY ACCESS OR EQUAL TO PROVIDE 1/4" CLEAR TEMPERED GLASS, WITH SERVICE OPENING UNDER 432 SQUARE INCHES.
 - 13 PROVIDE 64"WIDE X 36"HIGH LOW PROFILE SINGLE PANEL SELF-CLOSE SLIDER ANODIZE ALUMINUM WINDOW READY ACCESS OR EQUAL TO PROVIDE 1/4" CLEAR TEMPERED GLASS, WITH SERVICE OPENING UNDER 432 SQUARE INCHES.
 - 21 PRESSURE WASH EXISTING INTERIOR & EXTERIOR WALLS AND SURFACES DAMAGED BY NEW WORK, SCRAPE OFF ANY UNSTABLE PAINT, PATCH AND REPAIR ANY DAMAGED SURFACES AND PREPARE SURFACES FOR NEW FINISHES PER PLAN.
 - 22 PROVIDE NEW 2X PRIMED MRATEC COMPOSITE FASCIA, PAINT TO BE SELECTED BY ARCHITECT.
 - 27 NEW SHADE STRUCTURE. SEE STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
 - 44 NEW STANDING SEEM GALVANIZE METAL ROOFING OVER NEW ROOF UNDERLAYMENT, NEW PLYWOOD, AND NEW T&G ROOF DECK.
 - 118 NEW 6'-0" HIGH VANDAL RESISTANT ROOF SCREEN WITH PERFORATED ALUMINUM METAL PANELS A13 GATEN SERIES BY ATAS INTERNATIONAL OR EQUAL.
 - 119 PROVIDE NEW SINGLE PLY PVC/TOP ROOFING SYSTEM MEMBRANE OVER NEW DENSDECK BOARD, GAF OR EQUAL, PROVIDE NEW GALVANIZE FLASHING AS REQUIRED AND PAINT PER FINISH SCHEDULE. ROOFING MATERIAL TO COMPLY WITH ICC LISTING REPORT NUMBER ESR-2852.
 - 127 PROVIDE 80"W X 36"H DUAL PANEL SELF CLOSE SLIDER ANODIZE ALUMINUM COMMERCIAL WINDOW BOYD ALUMINUM MANUF., SERIES 900 OR EQUAL TO PROVIDE 1/4" THICK CLEAR TEMPERED GLASS LOW-E GLASS.
 - 128 INFILL WINDOW OPENING WITH 8x8x16 CMU TO MATCH EXISTING WALL AND ADJACENT FINISH.
 - 150 RE-INSTALL EXISTING VANDAL PROOF METAL DOOR AND PAINT, SEE FINISH MATERIAL SCHEDULE FOR PAINT TYPE AND COLOR.
 - 154 REMOVE EXISTING DOOR AND DOOR FRAME, INFILL OPENING WITH 8x8x16 CMU TO MATCH EXISTING WALL AND ADJACENT FINISH.
 - 158 INSTALL NEW RUBBER CONDUIT BLOCKS UNDER ALL EXISTING CONDUITS, WATER LINES, AND GAS LINES.
 - 159 NEW G.I. SHEET METAL EDGE FLASHING, PAINT TO MATCH EXISTING FLASHING.
 - 160 TYPICAL THRUOUT ROOF, PROVIDE NEW FLASHING AT ALL PIPE, DUCTS, AND VENTS AS REQUIRED, EXTEND EXISTING PIPE THROUGH ROOF TO CONFORM WITH MIN. CODE REQUIREMENTS.

RENOVATION NOTES

- MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT, PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.
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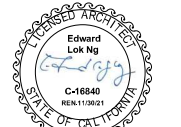
BOA Architecture Interiors Planning

KESSLER PARK SNACK BAR
SNACK BAR, RESTROOM REMODEL & NEW SHADE STRUCTURE
18401 JURUPA AVE, BLOOMINGTON, CA 92316

NO.	DATE	REV.	BY	CHK

Designer:	LA
CAD Draft:	LA
Architect:	OK
Engineer:	EDA
Client:	BLOOMINGTON CITY
Date Issue:	3-13-2023
Job Number:	2339

EXTERIOR ELEVATIONS



A8.0

