

SECTION G

CONTRACT DRAWINGS

KESSLER PARK SNACK BAR & RESTROOM RENOVATION PROJECT

FOR

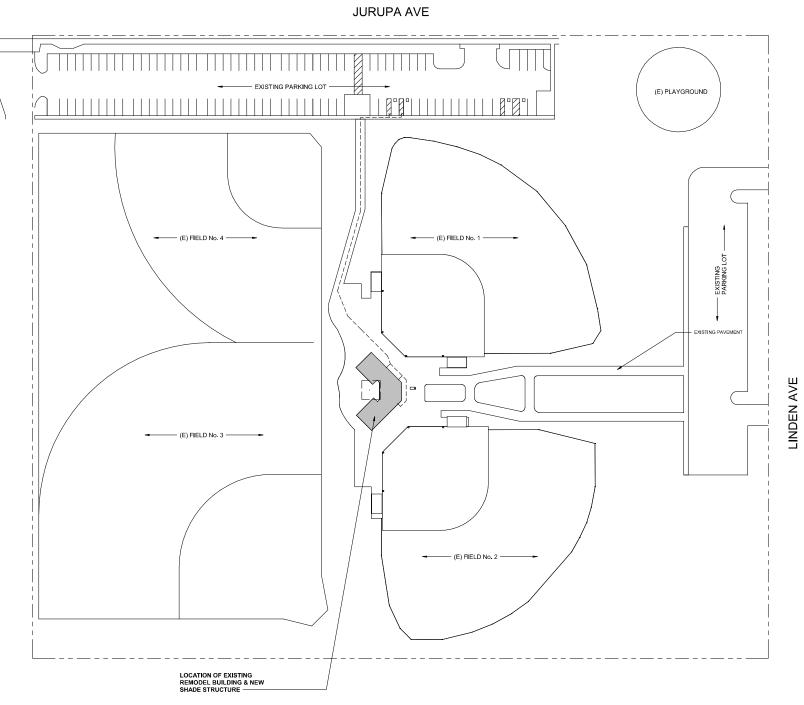
BLOOMINGTON RECREATION & PARK DISTRICT BLOOMINGTON, CALIFORNIA

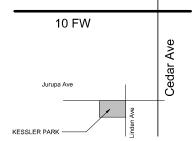
PROJECT NO.: 30.30.0135

KESSLER PARK SNACK BAR



SNACK BAR, RESTROOM REMODEL & NEW SHADE STRUCTURE SAN BERNARDINO COUNTY, DEPARTMENT OF PUBLIC WORKS - SPECIAL DISTRICTS **BLOOMINGTON RECREATION & PARK DISTRICT**





SITE LOCATION

OWNER:
BLOOMINGTON RECREATION & PARK DISTRICT
DEPARTMENT OF PLUBLIC WORKS - SPECIAL DISTRICTS
222 W. HOSHTALITY LANE, SECOND FLOOR
SAN BERNARDINO, CA 92415-0763
CONTACT: Phil Krause, Project Manager
P. te1909-986-819

1511 COTA AVENUE LONG BEACH, CA 90813 CONTACT: EDWARD LOK NG P: (562) -912-7900 E: LOK NG@BOAARCHITECTURE.COM

ALTERNATE BID -

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PLUMBING & MECHANICAL ENGINEER ENGINEERING DESIGN ANALYSIS, INC. 10231 SLATER AVE., SUITE 207 FOUNTAIN VALLEY, CA 92708 CONTACT: KEVIN FRIEDMAN P. (741A) 413 8393

P: (714) 913-8393 E: EDAINCORPORATED@AOL.COM

ELECTRICAL ENGINEER
JCA ENGINEERING, INC.
8048 PALM AVE. HIGHLAND, CA 92346
CONTACT: JAMES CORNS
P: (909) 884-0223
E: JAMES.CORNS@JCAENG.COM

PROJECT DIRECTORY

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AT
CENTERLINE
DIAMETER OF
PERPENDICU
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ACCESSIBLE

CONSTRUCTION TYPE NUMBER OF STORIES: OVERALL BUILDING HEIGHT FIRE SPRINKLERS FIRE ALARM SYSTEM: OCCUPANCY TYPE: LOT AREA: 591.888 SF EXISTING BUILDING AREA: 1.409 SE AREA TO BE RENOVATED: 1.409 SE

BUILDING DATA

APPLICABLE STATE CODES W/ CITY AMENDMENT

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA GREEN BUILDING CODE

APPLICABLE CODES

The scope of work includes, but is not limited to the following:

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General contractor to be responsible for all demolition in preparation for new work.

ALTERNATE BID: Provide a new exterior shade structure,
Remodel existing snack bar building and its restrooms; the work to be performed includes:
A. Exterior of Building: Removal of existing roofing system and replace with new PVC roof system, new have system, new electrical transformer, new metal screen at roof, and painting of existing building.

B. New exterior detached Shade structure: Provide new shelter detached from building w metal post and pressure treated framing with new standing seam metal roofing and light fixtures.

C. Interior of Building: Removal of selected CMU walls, and wood frame walls, removal of selected CMU walls, and wood frame walls, removal of skitchen appliances and

Interior of Building: Removal of selected CMU walls, and wood frame walls, removal of kitchen appliances and provide new type, relocation and new floor sinks, mop sinks, plumbing fixtures, new LED light fixtures throughout building, replacement of all doors & door frames, replacement of sliding windows, re-finish exterior roll-up doors, new epoxy floor paint, wall base tile, & new tables. doors, new popsy thoor paint, wall base tile, & new tables. At the hallway, removal of abandon concrete steps and renovate area for new hallway to connect the B.L.L. Storage room & Kitchen room, Typical of new furred walls per plan with new insulation, and new and replacement of electrical outlets/switches. Restrooms: Renovation to provide saw cutting & removal of the concrete slab for new replacement of plumbing fixtures, partitions, accessories, doors, and new LED light fixtures.

SCOPE OF WORK

PATCH, RESTORE, AND REFINISH ALL AREAS DAMAGED BY THE CONSTRUCTION WORK AND DEMOLITION.

COORDINATE W/ ENGINEER PRIOR TO DEMOLITION FOR ITEMS TO BE

ALL NEW DOORS SHALL BE SOLID CORE WOOD WITH HOLLOW METAL FRAM

REPAIR ALL TRANSITIONAL AREAS BETWEEN EXISTING AND NEW WORK DUE TO DEMOLITION.

NOTED. SCRAPE AND REMOVE ALL EXISTING LOOSE PAINT PER MANUFACTURER'S SPEC. AND PREPARE SURFACES FOR NEW PRIMER & PAINT.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL GOVERNING BLDG. CODES AND COUNTY ORDINANCES.

GENERAL NOTES

SHEET INDEX

A3.0 DEMOLITION & RENOVATION REFLECTIVE CEILING PLAN

A4.0 DEMOLITION & RENOVATION ROOF PLAN

A5.0 EQUIPMENT PLAN AND SCHEDULES
A6.0 SHADE STRUCTURE
A7.0 INTERIOR ELEVATIONS

A.3. EXTERIOR ELEVATIONS
A9.0 ROOF DETAILS
A10 ROOF SCREEN COVER FLOOR PLAN AND DETAILS
A11 ACCESSABILITY DETAILS
A12 FOUNDATION AND FRAMING PLANS
A13 STRUCTURAL NOTES AND DETAILS

M1.0 LEGEND, SCOPE OF WORK, SHEET INDEX, SCHEDULES, ENLARGED SITE PLAN
M1.1 PROJECT NOTES,

M2.1 DEMOLITION FLOOR PLAN & ROOF PLAN

M2.2 RENOVATION FLOOR PLAN & ROOF PLAN M3.0 MECHANICAL DETAILS

M3.0 MECHANICAL DETAILS
M3.1 MECHANICAL DETAILS
M4.0 TITLE 24 - ENVELOPE, PROCESS SYSTEMS
M4.1 TITLE 24 - MECHANICAL
M5.0 CAPTIVEARE DETAILS
E-1.0 ELECTRICAL SITE PLAN
E-2.0 ELECTRICAL LIGHTING AND POWER FLOOR PLAN
E-2.1 ENLARGED KITCHEN AND UTILITY POWER PLAN
E-2.2 ELECTRICAL LIGHTING AND POWER PLAN
E-2.3 ELECTRICAL CHANGE STORM AND AND FLOOR PLAN
E-2.3 ELECTRICAL CHANGE STORM AND ADMELOR

E-2.1 ENLARGED KITCHEN AND UTILITY POWER PLAN
E-2.2 ELECTRICAL LOW VOLTAGE AND FIRE ALARM FLOOR PLAN
E-3.0 SYMBOL LIST, GN, LTG, FIXTURE SCHEDULE, AND DETAILS
E-4.0 ELECTRICAL SPECIFICATIONS
P1.0 LEGEND, SHEET INDEX, SCOPE OF WORK, SCHEDULES
P1.1 PROJECT NOTES
P2.0 SITE PLAN
P3.0 FLOOR PLAN - DEMO
P3.1 REROE I COOR PLAN - WASTE & VENT

P3.1 RENO FLOOR PLAN - WASTE & VENT
P3.2 RENO FLOOR PLAN - WATER

P4.0 WASTE & VENT ISOMETRIC, DETAILS
P4.1 HOT & COLD WATER ISOMETRICS



CK BAR, RESTROOM REMODE! NEW SHADE STRUCTURE

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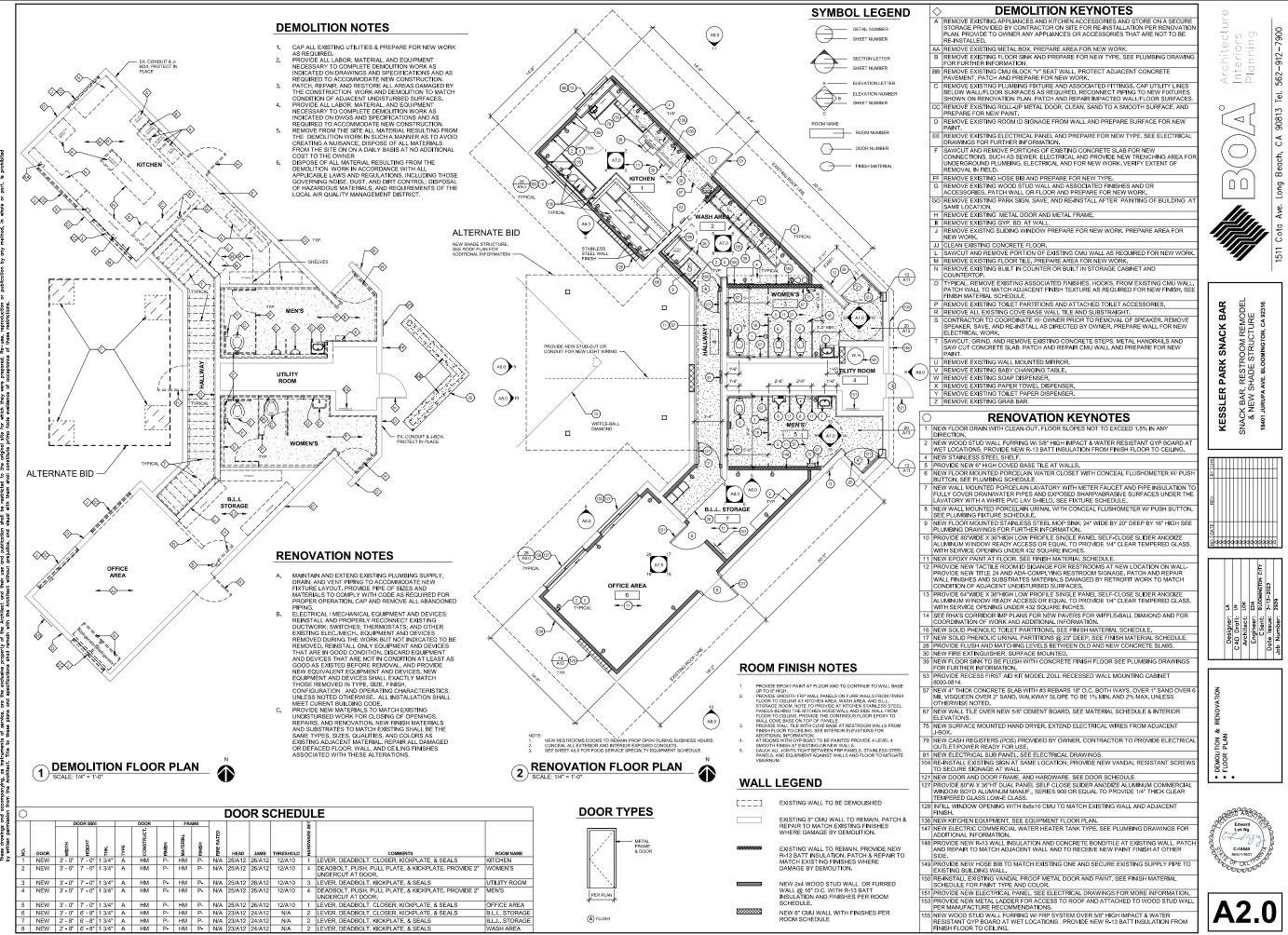
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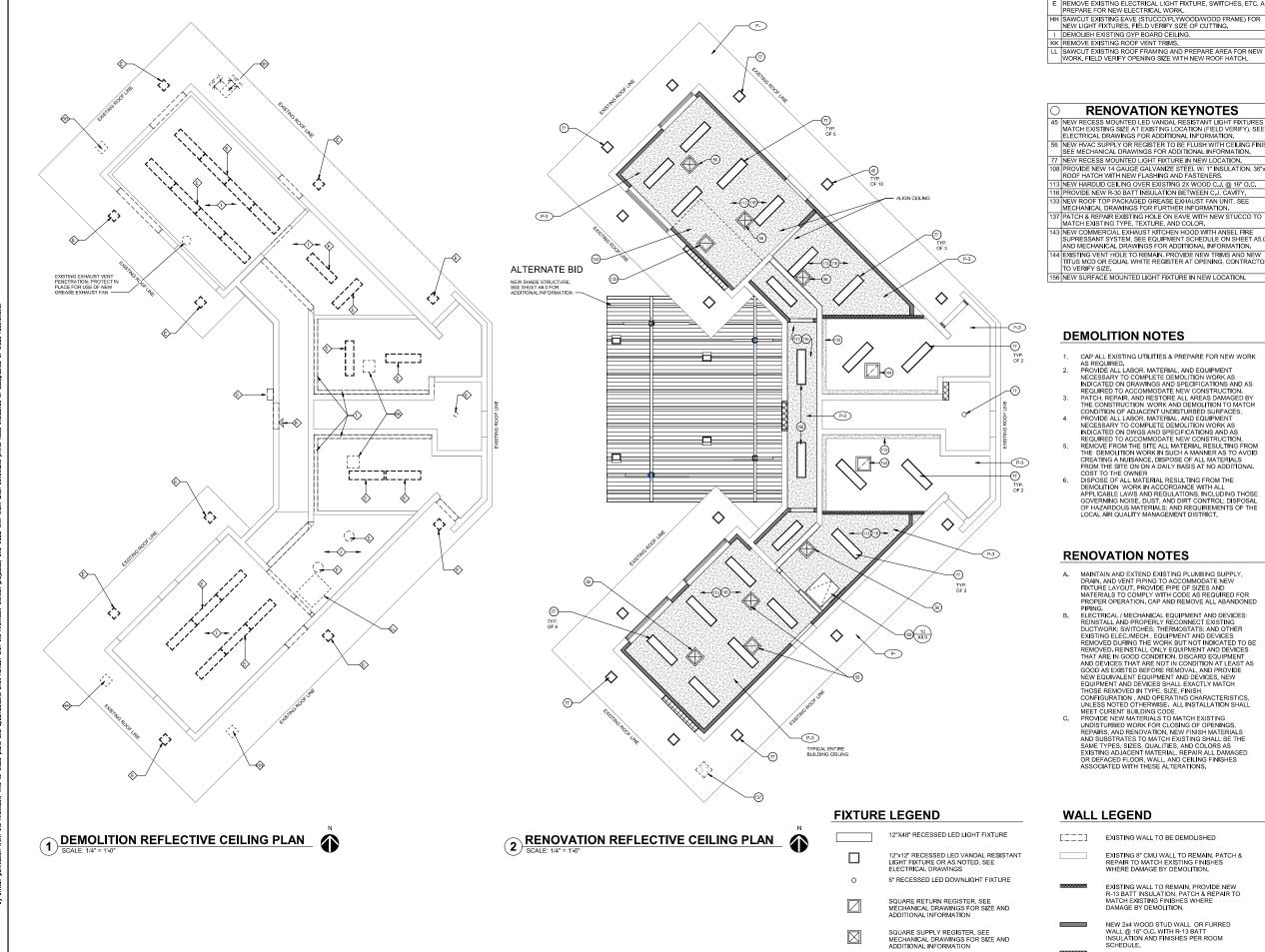
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SITE PLAN

ABBREVIATIONS





DEMOLITION KEYNOTES

E REMOVE EXISTING ELECTRICAL LIGHT FIXTURE, SWITCHES, ETC. AND PREPARE FOR NEW ELECTRICAL WORK.

HI SAWCUL EXISTING EAVE (STUCCO)PLYWOOD/WOOD FRAME) FOR NEW LIGHT FIXTURES. FIELD VERIFY SIZE OF CUTTING.

I DEMOLISH EXISTING GYP BOARD CEILING.

LL SAWOUT EXISTING ROOF FRAMING AND PREPARE AREA FOR NEW WORK, FIELD VERIFY OPENING SIZE WITH NEW ROOF HATCH.

RENOVATION KEYNOTES

45 NEW RECESS MOUNTED LED VANDAL RESISTANT LIGHT FIXTURES TO MATCH EXISTING SIZE AT EXISTING LOCATION (FIELD VERIFY). SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

New HAVE SUPPLY OR REGISTER TO BE FLUSH WITH CELLING FINISH.
 SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

77 NEW RECESS MOUNTED LIGHT FIXTURE IN NEW LOCATION.

108 PROVIDE NEW 14 GAUGE GALVANIZE STEEL W. 1" INSULATION, 36"x30" ROOF HATCH WITH NEW FLASHING AND FASTENERS. 131 NEW HADDLID CELING OVER EXISTING 2X WOOD C.J. @ 16" O.C.

133 NEW ROOF TOP PACKAGED GREASE EXHAUST FAN UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.

137 PATCH & REPAIR EXISTING HOLE ON EAVE WITH NEW STUCCO TO MATCH EXISTING TYPE, TEXTURE, AND COLOR.

 NEW COMMERCIAL EXHAUST KITCHEN HOOD WITH ANSEL FIRE
 SUPRESSANT SYSTEM. SEE EQUIPMENT SCHEDULE ON SHEET A5.0
 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. 144 EXSTING VENT HOLE TO REMAIN. PROVIDE NEW TRIMS AND NEW TITUS MOD OR EQUAL WHITE REGISTER AT OPENING, CONTRACTOR TO VERIEY SIZE.

156 NEW SURFACE MOUNTED LIGHT FIXTURE IN NEW LOCATION.

DEMOLITION NOTES

- CAP ALL EXISTING UTILITIES & PREPARE FOR NEW WORK

- CREATING A NUISANCE. DISPOSE OF ALL MATERIALS
 FROM THE SITE ON ON A DAILY BASIS AT NO ADDITIONAL
 COST TO THE OWNER
- DISPOSE OF ALL MATERIAL RESULTING FROM THE DISPOSE OF ALK MATERIAL RESULTING FROM THE DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL: DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.

RENOVATION NOTES

- MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT, PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.
- PIPING.

 ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES:
 REINSTALL AND PROPERLY RECONNECT EXISTING
 DUCTWORK; SWITCHES, THERMOSTATS; AND OTHER
 EXISTING ELEC./MECH., EQUIPMENT AND DEVICES
 REMOVED DURING THE WORK BUT NOT INDICATED TO BE
 REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES
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WALL LEGEND

EXISTING WALL TO BE DEMOLISHED

EXISTING 8" CMU WALL TO REMAIN, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION.

EXISTING WALL TO REMAIN, PROVIDE NEW R-13 BATT INSULATION, PATCH & REPAIR TO MATCH EXISTING FINISHES WHERE DAMAGE BY DEMOLITION.

NEW 2x4 WOOD STUD WALL OR FURRED WALL @ 16" O.C. WITH R-13 BATT INSULATION AND FINISHES PER ROOM SCHEDULE.

NEW 8" CMU WALL WITH FINISHES PER ROOM SCHEDULE

SNACK BAR, RESTROOM REMODE! & NEW SHADE STRUCTURE

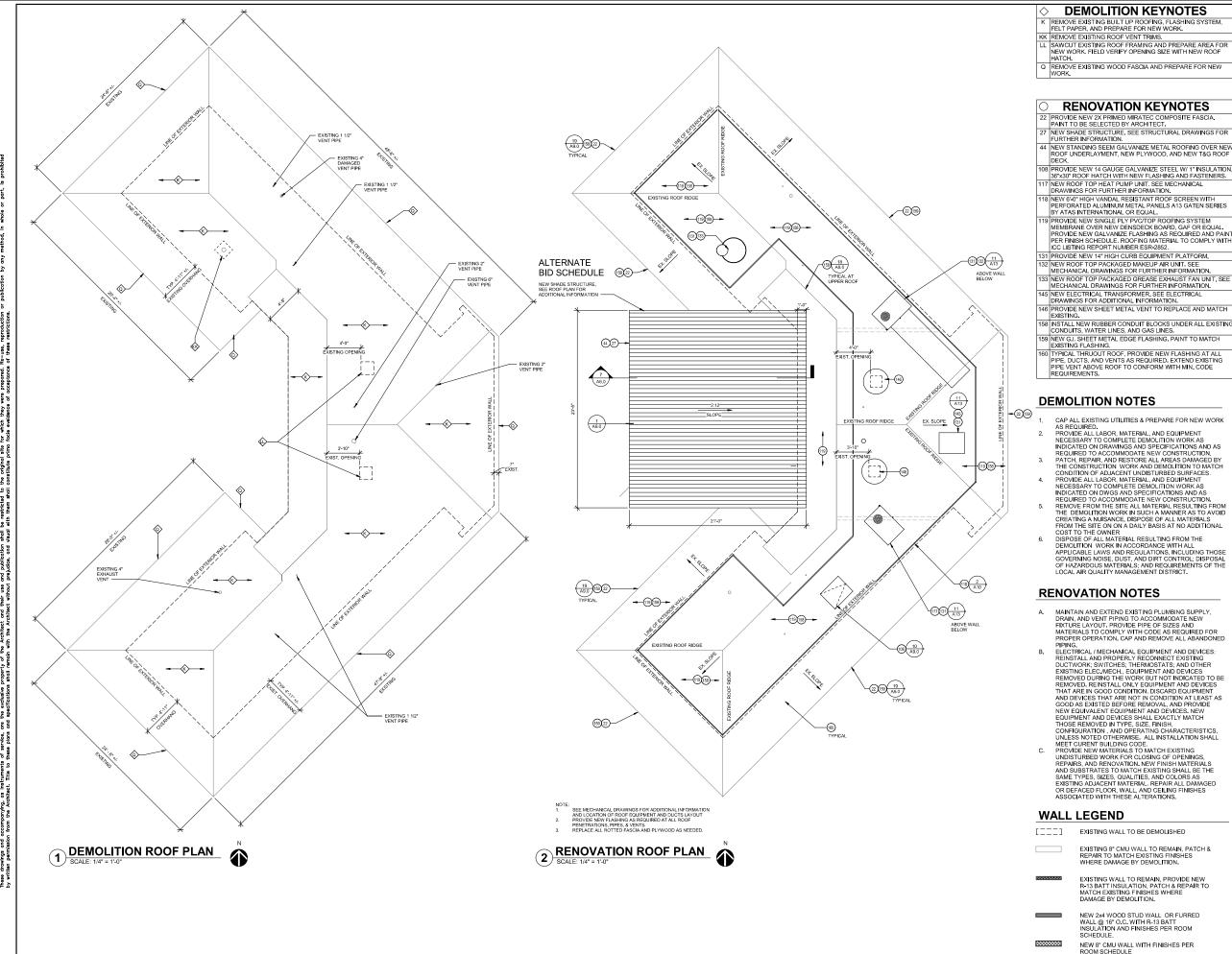
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DEMOLITION KEYNOTES

- REMOVE EXISTING BUILT UP ROOFING, FLASHING SYSTEM, FELT PAPER, AND PREPARE FOR NEW WORK.
- LL SAWCUT EXISTING ROOF FRAMING AND PREPARE AREA FOR NEW WORK, FIELD VERIFY OPENING SIZE WITH NEW ROOF HATCH.
- Q REMOVE EXISTING WOOD FASCIA AND PREPARE FOR NEW WORK.

RENOVATION KEYNOTES

- 44 NEW STANDING SEEM GALVANIZE METAL ROOFING OVER NEW ROOF UNDERLAYMENT, NEW PLYWOOD, AND NEW T&G ROOF DECK.

- DRAWINGS FOR FURTHER INFORMATION.

 18 NEW 6-0" HIGH VANDAL RESISTANT ROOF SCREEN WITH PERFORATED ALUMINUM METAL PANELS A13 GATEN SERIES BY ATAS INTERNATIONAL OR EQUAL.

 119 PROVIDE NEW SINGLE PLY PVC/TOP ROOFING SYSTEM MEMBRANE OVER NEW DENSDECK BOARD, GAF OR EQUAL. PROVIDE NEW GALVANIZE FLASHING AS REQUIRED AND PAINT PER FIRISH SCHEDULE. ROOFING MATERIAL TO COMPLY WITH ICC LISTING REPORT NUMBER ESR-2852.
- 32 NEW ROOF TOP PACKAGED MAKEUP AIR UNIT. SEE
 MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 133 NEW ROOF TOP PACKAGED GREASE EXHAUST FAN UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.
- 146 PROVIDE NEW SHEET METAL VENT TO REPLACE AND MATCH
- 159 INSTALL NEW RUBBER CONDUIT BLOCKS UNDER ALL EXISTING CONDUITS, WATER LINES, AND GAS LINES.

 159 NEW G.I. SHEET METAL EDGE FLASHING. PAINT TO MATCH
- INCOMING FORMING.

 IN TYPICAL THRUOUT ROOF, PROVIDE NEW FLASHING AT ALL PIPE, OLICTS, AND VENTS AS REQUIRED, EXTEND EXISTING PIPE VENT ABOVE ROOF TO CONFORM WITH MIN, CODE REQUIREMENTS.

DEMOLITION NOTES

- CAP ALL EXISTING UTILITIES & PREPARE FOR NEW WORK

- DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL; DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.

- A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT. PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING
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SNACK BAR, RESTROOM REMODEL
& NEW SHADE STRUCTURE
18401 JURUPA AVE. BLOOMINGTON, CA 92216 SNACK







- PROVIDE ALL EQUIPMENT, INCLUDING SHELVING, MUST BE SUPPORTED BY SIX (6) INCH HIGH, EASILY CLEANABLE LEGS, COMMERCIAL CASTORS, OR COMPLETELY SEALED IN POSITION ON A FOUR (4) RICH HIGH COSTINUOUSLY COVED BASE OR CONCRETE CURB TO FACILITATE EASE OF CLEANING.
- INSPECTOR COMMENTS: ALL FOOD PREPARATION, FOOD STORAGE, DISH WASHING, JANITORIAL, RESTROOM AND CUSTOMER SELF-SERVICE AREAS MUST HAVE APPROVED FLOORING WITH A COMPATIBLE MINIMINIM 36" RADIOS COVED BASE THAT EXTENDS UP ITHE WALL AT LEAST A INCHES. APPROVED FLOORING MUST EXTEND FOR AT LEAST 3 FEET ON ALL OPEN SIDES OF CUSTOMER SELF-SERVICE AREAS. APPROVED FLOORING AND COVED BASE INCLUDE THE FOLLOWING:
- -SERVICE AREAS, APPROVED FLOORING AND COVED BASE INCLIDE THE FOLLOWING: CERAMIC AND CUARRY TIE MUST USE INTEGRAL (REVERY) COVED BASE. SANITARY COVED BASE TO PSET TILL (ISLIM FOOT) IS NOT APPROVED TO BE INSTALLED ON TOP OF TILE FLOORING: CONCRETE SEALER AND MUST INSTALL STANLESS STEEL OR SLIM FOOT COVED BASE. STANLESS STEEL COVED BASE MUST BE INSTALLED TO FACILITATE CLEANING, APPROVED TROWLED-ON EPOXY MUST HAVE INTEGRAL COVING THAT CONTINUES UP THE WALL. COMMERCIAL SHEET VINYL (WEAR LAYER OF AT LEAST 0.055 INCHES) MUST HAVE INTEGRAL COVING WHICH CONTINUES UP THE WALL.

NOTE: ANY DEVIATIONS FROM THESE APPROVED FLOORING AND COVED BASE COMBINATIONS MUST BE APPROVED PRIOR TO INSTALLATION. CONTACT PLAN CHECK AT 1-800-442-2283 WITH ANY QUESTIONS.

- ALL PASS-THROUGH WINDOWS MUST BE ABLE TO SELF-CLOSE. PASS-THROUGH WINDOWS MAY NOT EXCEED 432 SOUARE INCHES WITH AN APPROVED AIR CURTAIN. WINDOW OPENINGS LESS THAN 216 SOUARE INCHES DO NOT REQUIRE AN AIR CURTAIN.
- THE WALLS AND CEILINGS OF ALL ROOMS SHALL BE OF AN APPROVED MATERIAL WHICH IS DURABLE, SMOOTH, NONABSORBENT, AND EASILY CLEANABLE SURFACE.
- THE WALL SURFACES BEHIND AND ADJACENT ALL SINKS (INCLUDING HANDWASH AND MOP SINKS) SHALL BE COVERED WITH FIBERCIASS REINFORCED POLYSTER (FREY, STANLESS STEEL, TILE, OF THE EQUIVALENT. THE APPROVED WALL COVER MUST EXTEND DE THE WALL AT LEAST FOUR (4) FEET FROM THE COVED BASE AND COVER THE WALLS BEHIND THE SINK AND ACCOMPANYING DRAINSOARDS TO A MINIMUM OF EIGHTERS (16) ROHES ON BOTH SIGHT.

RENOVATION KEYNOTES

- 9 NEW FLOOR MOUNTED STAINLESS STEEL MOP SINK; 24" WIDE BY 20" DEEP BY 16" HIGH SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- NEW FIRE EXTINGUISHER, SURFACE MOUNTED 39 NEW FLOOR SINK TO BE FLUSH WITH CONCRETE FINISH FLOOR SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION.

RESTROOM ACCESSORY SCHEDULE | NO. | FGUP. | MANUFACTURE | COURT | SUFFICE | COURT | COURT

RENOVATION NOTES

- A. MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT, PROVIDE PIPE OF SIZES AND MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION, CAP AND REMOVE ALL ABANDONED DIPING.
- MATERIALS 10 COMPLY WITH OUT A CASE AS A SECURITION CAP AND REMOVE ALL ABANDONED PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.

 B. ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK; SWITCHES; THERMOSTATS; AND OTHER EXISTING ELEC.MECH., EQUIPMENT AND DEVICES REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURENT BUILDING CODE.

 C. PROVIDE NEW MATERIALS TO MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRAFES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALITIES, AND COLORS AS EXISTING ADJACCENT MATERIAL, REPAIR ALL DAMAGED OR DEFACED FLOOR, WALL, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.

\subset	FINISH MATERIAL SCHEDULE										
NO. MATERIAL		* MANUFACTURE	COLOR/MODEL NO.	NOTES							
GB	GYP BOARD	USG	TO BE SELECTED BY OWNER	GYP BD. SHALL BE SMOOTH FINISH, HIGH IMPACT TYPE. PROVIDE MOISTURE RESISTANT AT CEILING.							
P-1	GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	INTERIOR HALLWAY WALLS							
P-2	GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	RESTROOM WALLS							
P-3	GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	INTERIOR CEILING							
P-4	GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	DOOR & DOOR FRAMES AND WINDOW PROTECTION DOOR							
P-5	GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	METAL ROOF SCREENS & SIDEBOARDS							
P-6	SEMI GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	EXTERIOR CMU WALLS							
P-7	SEMI GLOSS - PAINT	DUNN-EDWARD	TO BE SELECTED BY OWNER	INTERIOR EXTERIOR CMU WALLS AT OFFICE ROOM & B.L.L. STORAGE							
CT-1	CERAMIC BASE TILE	DALTILE	GLOSS FINISH	BASE TILE SHALL BE TOP SET-DAL TILE, 3/6" MIN. RADIUS COVE 6" HIGH, 24" WIDE. SEE DETAIL 13/A10							
CT-2	CERAMIC FLOOR TILE	DALTILE	GLOSS FINISH	SIZE: 24"x24" WALL TILE AT RESTROOM WALLS							
EPX	2-PART EPOXY FLOOR PAINT SYSTEM FOR CONCRETE	EPOXYPRO	TO BE SELECTED BY OWNER, PROVIDE A SMOOTH FINISH AND WATER RESISTANT TYPE	TYPICAL AT ENTIRE BUILDING CONCRETE SLAB WITH 6' HIGH COVE BASE (BEXEFT RESTROOMS), EPOY HAHL IS A 2-PART SYSTEM INSTALLED TROWELED ON FLOOR CONTINOUS WITH COVE BASE. PROVIDE SMOOTH FINISH UNDER EQUIPMENT AND BASE COVE. PROVIDE SLIP RESISTANT AGENTS TO TRAFFIC AREAS ONLY.							
FRP	FIBERGLASS REINFORCE PLASTIC PANELS	MARLITE	SMOOTH GLOSS FINISH, COLOR TO BE SELECTED BY OWNER	PROVIDED AT KITCHEN AND WASH AREA WALLS							
SST	STAINLESS STEEL WALL PANELS	HALIFAX	STAINLESS STEEL SMOOTH FINISH	PROVIDED AT SELECTED KITCHEN WALLS AT SOUTH & WEST AREA, PANEL SIZE 48' WIDE BY 84' TALL.							

PROVIDE ABOVE MANUFACTURE'S OR APPROVED EQUAL OR BETTER.

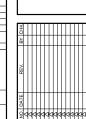
ROOM FINISH SCHEDULE

FOOD SERVICE SPECIALTY EQUIPMENT SCHEDULE														
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ITEM NO.	PRODUCT	LOCATION	PRODUCT NAME	BRAND	MODEL	CERTIFICATE	EQUIPMENT	PHASE	VOLTAGE	AMPS	Hot Water Size	Water Size	Direct Waste Size	Comments
E-02	EXISTING	KITCHEN	PEPSI REFRIGERATOR	CORNELIUS	VR-26-BEV-SLW-RH-50	NSF / C-UL-US	Refrigerator-Glass Door	1-PHASE	115	5.8	Size	Size	Size	30"x30"
E-03	EXISTING	KITCHEN	ICED MAKER	MCCANN'S MTJ	16-1321	NSF	Generic Models 18	1-PHASE	120	7				00 700
E-04	EXISTING	WASH AREA	FRIDGE	MANITOWOC DELFIELD	406-STAR2	C-UL-US / NSF	Refrigerator-Glass_Door	1-PHASE	115	4				
E-05	EXISTING	KITCHEN	ICED MACHINE	ICETRO	IM-0460-AH	ETL, UL STD, 563	Ice Maker 2779	1-PHASE	115	7				
E-06	EXISTING	KITCHEN	SODA MACHINE	CORNELIUS	CB2323-AHK	NSF / UL & cUL	Soda_Dispenser_with_Ice_Mak er_10752	1-PHASE	115	1.5				I VALVE DISPENSER, PROVIDE WATER SUPPLY TO LINE. PROVIDE POTTABLE WATER SUPPLY TO CARBONATORS SHALL BE PROTECTED BY EITHER AN ARGAN DE A VENTED BACKELOW PREVENTER FOR CARBONATED BEVERAGE DISPENSER INTALLED WITHIN THE CARBONATED BEVERAGE DISPENSER.
E-07	NEW		BROILER	GARLAND	ED-30B	cSAus, NSF, CE	Generic Models 13	3-PHASE	208	23				24x30x13-3/4; STAINLESS STEEL ELECTRIC BROILER
E-08	NEW	KITCHEN	GRIDDLE	VULCAN	HEG24E	NSF, cSAus, SAus	Generic Models 5	1-PHASE	240	45				24x31.5x15.3; HEAVY DUTY ELECTRIC GRIDDLE
E-09	NEW	WASH AREA	ULTRA COLD STORAGE FREEZE	UCS	UCS-41HC	cULus, UL	Freezer_Chest_395	1-PHASE	115	3.1				
E-10	EXISTING	KITCHEN	COMMERCIAL COFFEE MAKER	SYBO	SF-CB-2GA	UL, ETL	Generic Models 6	1-PHASE	120	13.75				
E-11	EXISTING	KITCHEN	HOT DOG ROLLER	OLDE MIDWAY	CON-ROLL-PRO18-CVR	cETLus	Generic Models 7	1-PHASE	110	9.8				
E-13	EXISTING	KITCHEN	COMMERCIAL CONVECTION OVEN	AMANA	MCE14?	cETLus, ETL	Generic Models 11	1-PHASE	208	15.40				
E-14	EXISTING	KITCHEN	WARMER WITH HEAT LAMPS	NEMCO	6000A-2		Generic Models 10	1-PHASE	120	4.2				
E-15	NEW	KITCHEN	ELECTRIC COUNTERTOP PIZZA / DECK OVEN	BAKERS PRIDE	P-18S	cULus, CE, UL	Generic Models 14	1-PHASE	208	14				23 x 17 x 25 inches
E-16	NEW	KITCHEN	WARMER CABINET	WINCO USA	PW12; 51012	cETLus, ETL-Sanitation	Generic Models 1	1-PHASE	120	12.3				19"W x 22"D x 33"H, 3-tier rotating hook rack
E-17	NEW	KITCHEN	COMMERCIAL MICROWAVE OVEN	AMANA	RC17S2	cETLus, ETL-Sanitation	Microwavesimple_classic_	1-PHASE	240	20				19-1/4 x 25-1/2 x 18-1/8; 1700 WATT POWER
E-18	NEW	WASH AREA	STAINLESS STEEL WALL MOUNT SHELF	GSW USA	WS-W12 (24,36,60,84)	NSF, ETL		N/A						PROVIDE SHELVES 27" MIN. ABOVE FLOOR
E-19	NEW	WASH AREA	STAINLESS STEEL WALL MOUNT SHELF	GSW USA	WS-W14 (24,36,48,60,84)	NSF, ETL		N/A						PROVIDE SHELVES 27" MIN. ABOVE FLOOR
E-20	NEW	KITCHEN	AIR CURTAIN	MARS AIR SYSTEM	Unheated STD2	ETL	Air_Curtain-Unheated-Mars_Air- STD2-OB	1-PHASE	115	10.2				84" WIDE x 12-3/4" DEEP x 10-5/8" HIGH, OPERATED BY OPENING OF WINDOW.
E-22	EXISTING	KITCHEN	CHEESE WARMER	WINCO	ESW-66	NSF, ETL, ANSI 4 NSF, ETL, ANSI 4	Generic Models 3	1-PHASE 1-PHASE	120	10.9				PROVIDE SHELVES 27" MIN. ABOVE FLOOR
E-23	NEW	WASH AREA	SINGLE COMPARTMENT SINK W/ DRAINBOARD & LEFT SPLASH GUARD 12" HIGH, MODEL SP-SH2410L	AERO	ESW-66 3F1-2116-18R	NSF, ETL, ANSI 4	qf_aero_2f1-2020-r	N/A	120	3.3	1"	1"	0"	38.3x27 PREP SINK
E-25	EXISTING	WASH AREA	C02 GAS TANKS				Generic Models 21	N/A						30" TALL SODA TANKS
E-26	NEW	KITCHEN	HAND SINK	REGENCY	600HS12SP	NSF	Bar_Sink_412	N/A						12x16, 20-GAUGE 304 STAINLESS STEEL W/ SIDE SPLASHES
E-27	NEW	WASH AREA	3-COMPARTMENT SINK	AERO	3F3-2020-20LR		3f3-2020-20lr	N/A			1"	1"	0"	26x99
E-28	NEW	UTILITY RM.	ELECTRIC COMMERCIAL WATER HEATER	RHEEM	E20A	UL, ASME, CEC	Commercial Beer Dispenser24	3-PHASE	208	100				24-1/4x36-1/2, 20 Gallon
E-29	NEW	B.L.L. STORAGE	EPOXY COATED STEEL SHELF KIT W/ POST & CASTERS	REGENCY	460EG3072KTC	NSF		N/A						72"Wx30"Dx69"H, 4 LEVELS, EPOXY COATED STEEL
E-30	NEW	KITCHEN	ELECTRIC EXHAUST KITCHEN HOOD	CAPTIVEAIRE	5412-SND-2	UL, cUL, ETL, NSF, NFPA		1-PHASE	115	5.1			_	120x54x12 WITH FIRE SUPPRESION SYSTEM
E-31	NEW	KITCHEN	AIR CURTAIN	MARS AIR SYSTEM	Unheated STD2	ETL	Air_Curtain-Unheated-Mars_Air- STD2-OB	1-PHASE	115	5.1				MA-STD242-1UA-OB. 42" WIDE, 13" DEPTH, 11" HEIGHT, OPERATED BY OPENING OF DOOR.
E-32	EXISTING	KITCHEN	4-BASKET FRYER	ANETS	SLE-40	cETLus, ETL	Generic Models 15	3-PHASE	208	36.7				27x32
E-33	NEW	KITCHEN	TABLE	AERO	1TG-2448	UL 710, NSF STANDARD 2		N/A						24Wx48Dx35H
E-34	NEW	KITCHEN	TABLE	AERO	1TG-2460	UL 710, NSF STANDARD 2		N/A						24Wx60Dx35H
E-35	NEW	KITCHEN	TABLE	AERO	1TS-3060	UL 710, NSF STANDARD 2		N/A						30Wx60Dx35H
E-36	NEW	KITCHEN	2 DRAWER REFRIGERATED BASE	AVANTCO	178CBE60HC	DOE, ETL	Generic Models 23	1-PHASE	115	5.04				2-DRAWER CHEF BASE, STAINLESS STEEL FINISH, 60"W x 32"D x 25 13/16"H
E-37	NEW	B.L.L. STORAGE	2-TIER FLOOR MOUNTED LOCKER	GLOBAL INDUSTRIAL	WR254124GY		Hamilton Sorter - Modular Casework - Storage Cabinet - 2 Door Locker	N/A						12x12x36 METAL LOCKER: TOTAL HEIGHT 78", DOUBLE TIER 6 DOOR LOCKER PROVIDED WITH FOOT PLATES BOLT TO OUTSIDE LOCKER SUPPORTS & 6" HIGH LEGS
E-38	NEW	KITCHEN	GREASE INTERCEPTOR	JENSEN	JP750G	UPC, IAPMO		N/A						750 GALLONS, SIZED FOR 11 FU'S CONNECTED
E-39	NEW	KITCHEN	AIR CURTAIN	MARS AIR SYSTEM	Unheated STD2	ETL	Air_Curtain-Unheated-Mars_Air- STD2-OB	1-PHASE	115	10.2				72Wx10-3/4xDx8H, OPERATED BY OPENING OF WINDOW





SNACK BAR, RESTROOM REMODEL & NEW SHADE STRUCTURE 18401 JURUPA AVE, BLOOMINGTON, CA 92316 KESSLER PARK SNACK

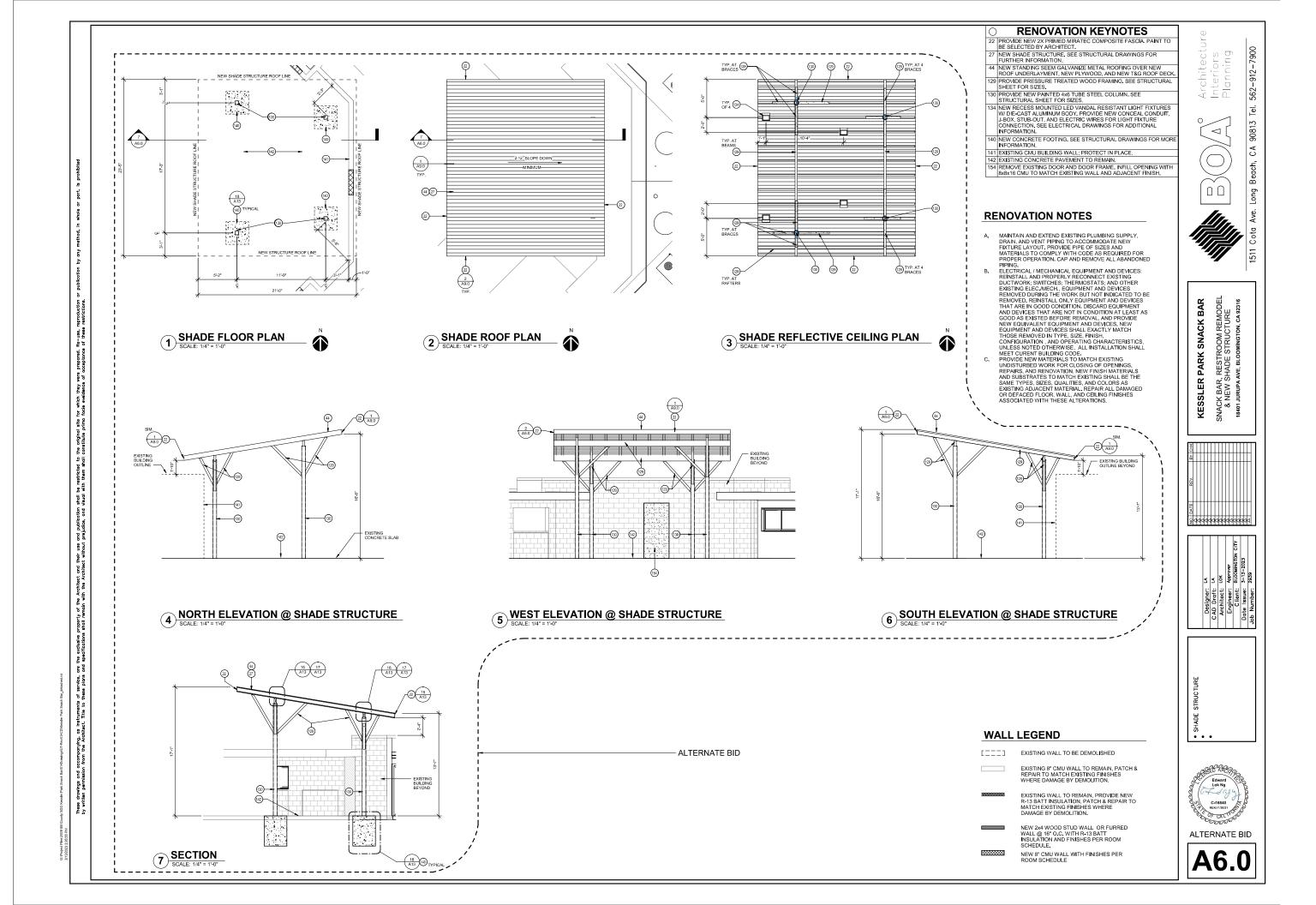


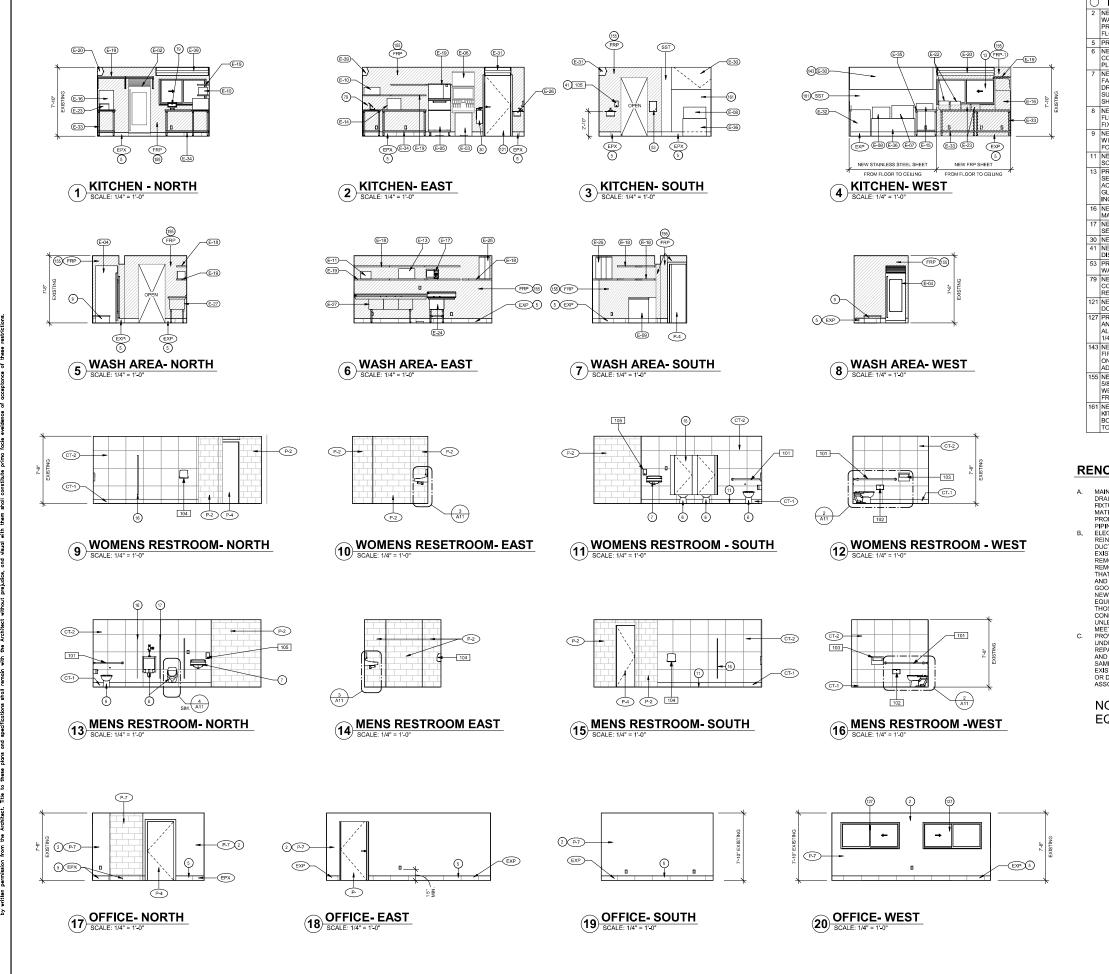


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2 EQUIPMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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RENOVATION KEYNOTES

NEW WOOD STUD WALL FURRING W/5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD AT WET LOCATIONS, PROVIDE NEW R-13 BATT INSULATION FROM FINISH FLOOR TO CEILING.

PROVIDE THE OF HIGH COVED BASE TILE AT WALLS.

NEW FLOOR MOUNTED PORCELAIN WATER CLOSET WITH CONCEAL FLUSHOMETER W/ PUSH BUTTON. SEE PLUMBING SCHEDULE.

PLUMBING SCHEDULE.

7 NEW WALL MOUNTED PORCELAIN LAVATORY WITH METER
FAUCET AND PIPE INSULATION TO FULLY COVER
DRAINWATER PIPES AND EXPOSED SHARP/ABRASIVE
SURFACES UNDER THE LAVATORY WITH A WHITE PVC LAV
SHIELD. SEE FIXTURE SCHEDULE.

8 NEW WALL MOUNTED PRACELAIN URINAL WITH CONCEAL
FILUSHOMETER W/ PUSH BUTTON. SEE PLUMBING
FIXTURE SCHEDULE.

NEW FLOOR MOUNTED STAINLESS STEEL MOP SINK; 24"
WIDE BY 20" DEEP BY 16" HIGH SEE PLUMBING DRAWINGS
FOR FURTHER INFORMATION.

FOR FURTHER INFORMATION.

I NEW EPOXY PAINT AT FLOOR. SEE FINISH MATERIAL.
SCHEDULE.
3 PROVIDE 64 "WIDE X 36"HIGH LOW PROFILE SINGLE PANEL.
SELF-CLOSE SILIDER ANDDIZE ALLIMINUM WINDOW READY
ACCESS OR EQUAL TO PROVIDE 14" CLEAR TEMPERED.
GLASS, WITH SERVICE OPENING UNDER 432 SQUARE.
INCHES.

IN NEW SOLID PHENOLIC TOILET PARTITIONS, SEE FINISH MATERIAL SCHEDULE.

NEW SOLID PHENOLIC URINAL PARTITIONS @ 23" DEEP. SEE FINISH MATERIAL SCHEDULE.

30 NEW FIRE EXTINGUISHER, SURFACE MOUNTED.

11 NEW STAINLESS STEEL SURFACE MOUNTED SOAP DISPENSER.

DISPENSER.

53 PROVIDE RECESS FIRST AID KIT MODEL:ZOLL RECESSED WALL MOUNTING CABINET 8000-0814.

79 NEW CASH REGISTERS (POS) PROVIDED BY OWNER. CONTRACTOR TO PROVIDE ELECTRICAL OUTLET/POWER READY FOR USE.

121 NEW DOOR AND DOOR FRAME, AND HARDWARE. SEE DOOR SCHEDULE.

DIOUR SCHEDUTE STATE DUAL PANEL SELF CLOSE SLIDER ANODIZE ALUMINUM COMMERCIAL WINDOW BOYD ALUMINUM MANUF., SERIES 900 OR EQUAL TO PROVIDE 1/4" THICK CLEAR TEMPERED GLASS LOW-E CLASS.

143 NEW COMMERCIAL EXHAUST KITCHEN HOOD WITH ANSEL FIRE SUPRESSANT SYSTEM SEE EQUIPMENT SCHEDULE ON SHEET A5,0 AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

ADDITIONAL INFORMATION.

55 NEW WOOD STUD WALL FURRING W/ FRP SYSTEM OVER
58* HIGH IMPACT & WATER RESISTANT GYP BOARD AT
WET LOCATIONS, PROVIDE NEW R-13 BATT INSULATION
FROM FINISH FLOOR TO CEILING.

161 NEW STAINLESS STEEL PANELS TO BE PROVIDED BEHIND
KITCHEN EXAUST HOOD ON FURR WALL OVER GYP
BOARD AND ON SIDE CMU WALL FROM FINISH FLOOR UP
TO CEILING.

RENOVATION NOTES

- MAINTAIN AND EXTEND EXISTING PLUMBING SUPPLY, DRAIN, AND VENT PIPING TO ACCOMMODATE NEW FIXTURE LAYOUT. PROVIDE PIPE OF SIZES AND PROPER OPERATION, CAP AND REMOVE ALL ABANDONED
- MATERIALS TO COMPLY WITH CODE AS REQUIRED FOR PROPER OPERATION. CAP AND REMOVE ALL ABANDONED PIPING.

 ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK; SWITCHES; THERMOSTATS; AND OTHER EXISTING ELEC.MECH., EQUIPMENT AND DEVICES REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION. DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDED NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURENT BUILDING CODE.

 PROVIDE NEW MATERIALS TO MATCH EXISTING WINDISTURED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BEFORE AND AUGSTRATES AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BEFORE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BEFORE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BEFORE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BEFORE THE SAME TYPES, SIZES, QUALTITES, AND COLORS AS EXISTING BAJACENT MATCHERIAL REPAIR ALL DAMAGED OR DEFACED FLOOR, WALL, AND CELING FINISHES ASSOCIATED WITH THESE ALTERATIONS,

NOTE: SEE SHEET A5.0 FOR EQUIPMENT SCHEDULE.



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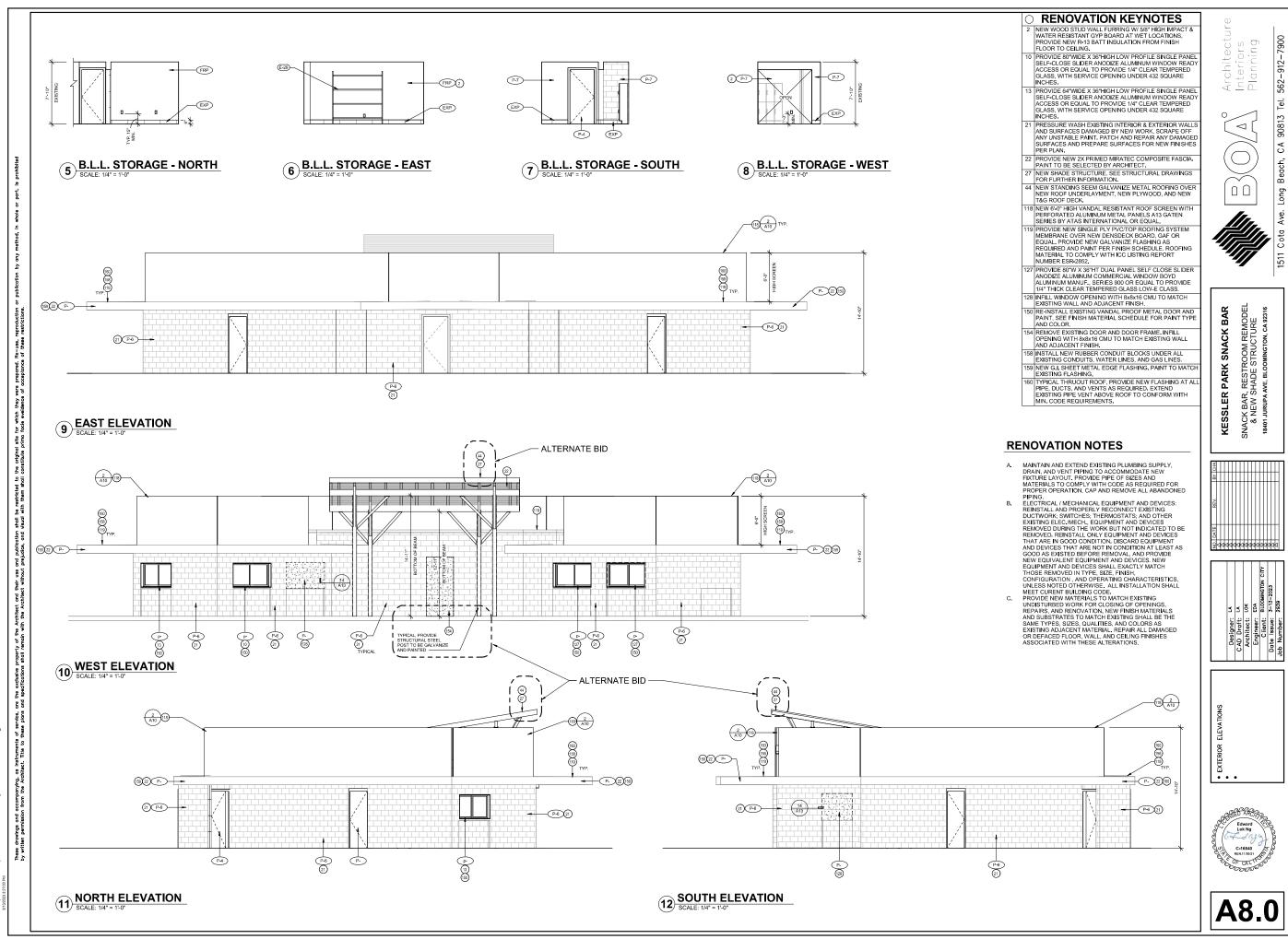
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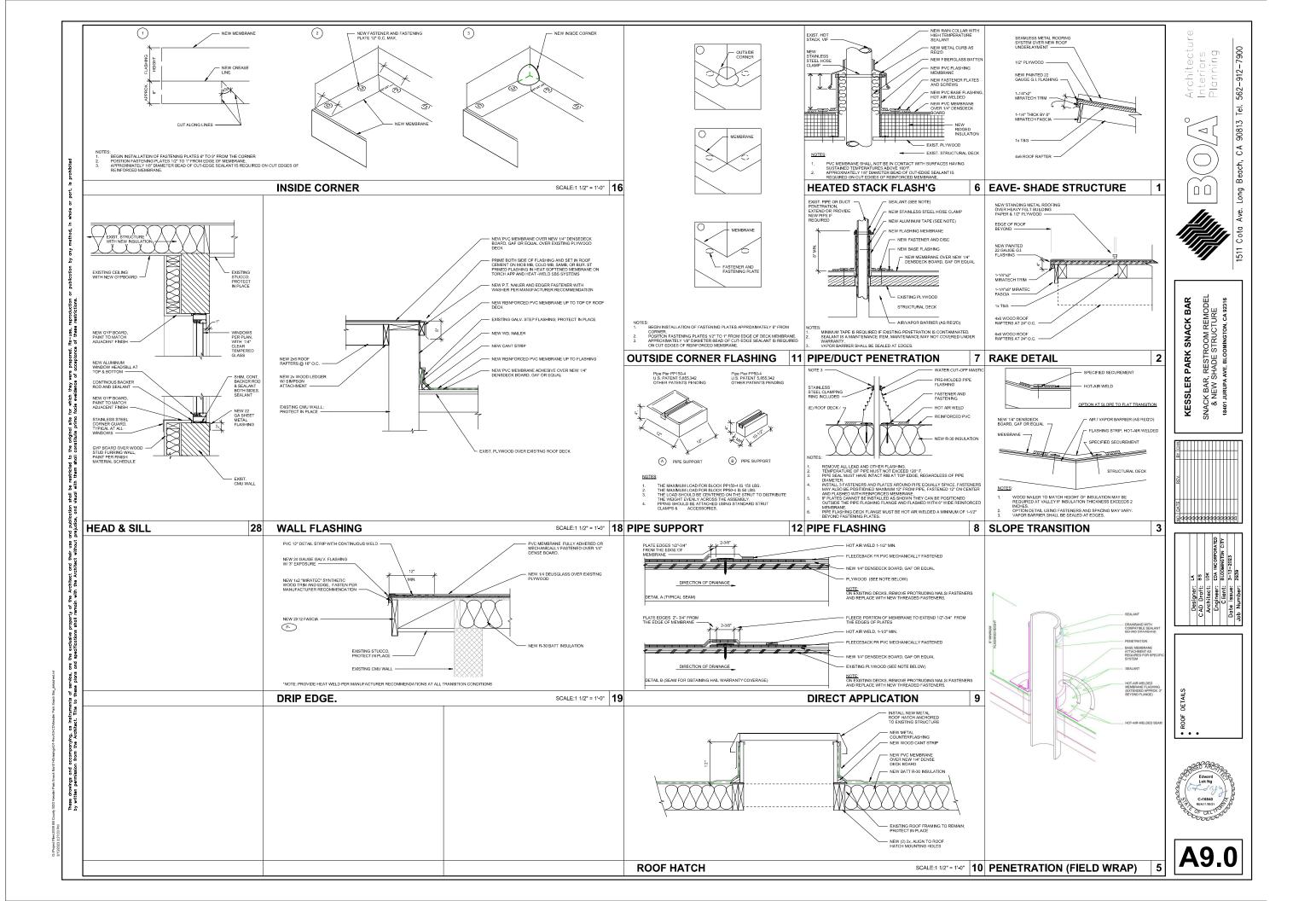
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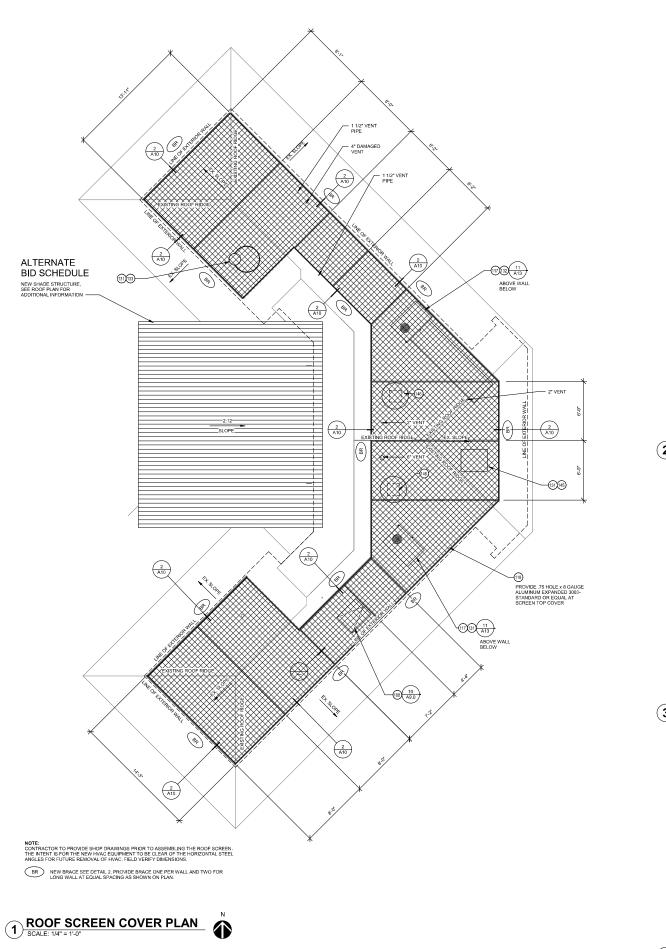
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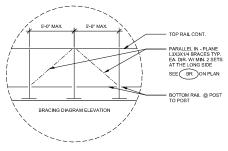
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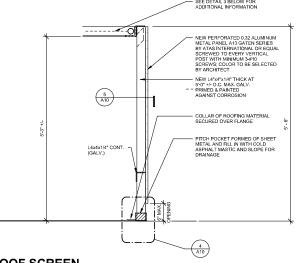


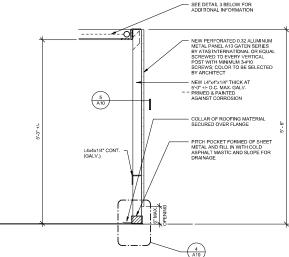


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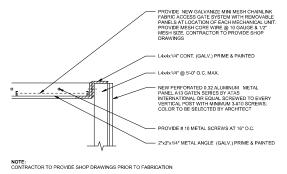


NOTE: DIAGONAL BRACE SHALL HAVE MIN. 1/2" BOLT EACH END

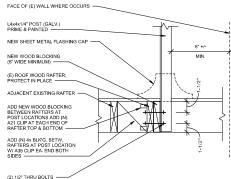




ROOF SCREEN
SCALE: 1" = 1'-0"



3 TOP OF SCREEN POST
SCALE: 1 1/2" = 1'-0"



SCREEN POST ELEV.

SCALE: 1 1/2" = 1'-0"



108 PROVIDE NEW 14 GAUGE GALVANIZE STEEL W/ 1" INSULATION, 36"x30' ROOF HATCH WITH NEW FLASHING AND FASTENERS.

ROOF HATCH WITH NEW FLASHING AND FASTENERS.

117 NEW ROOF TOP HEAT PUMP UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.

118 NEW 6-0* HIGH VANDAL RESISTANT ROOF SCREEN WITH PERFORATED ALUMINUM METAL PANELS A13 GATEN SERIES BY ATAS INTERNATIONAL OR EQUIAL.

131 PROVIDE NEW 14* HIGH CURB EQUIPMENT PLATFORM.

132 NEW ROOF TOP PACKAGED MAKEUP AIR UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.

133 NEW ROOF TOP PACKAGED GREASE EXHAUST FAN UNIT. SEE MECHANICAL DRAWINGS FOR FURTHER INFORMATION.

145 NEW ELECTRICAL TRANSFORMER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

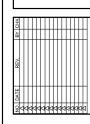
146 PROVIDE NEW SHEET METAL VENT TO REPLACE AND MATCH EXISTING.

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SNACK BAR, RESTROOM REMODEL & NEW SHADE STRUCTURE 18401 JURUPA AVE, BLOOMINGTON, CA 92316 KESSLER PARK SNACK BAR



TYPICAL, L4x4x1/4" METAL ANGLE POST (GALV.) PRIME & PAINTED

SCREEN COVER AND DETAILS • PLAN



A10

SCREEN POST PLAN
SCALE: 1 1/2" = 1'-0"