



LAND USE SERVICES DEPARTMENT PLANNING COMMISSION STAFF REPORT

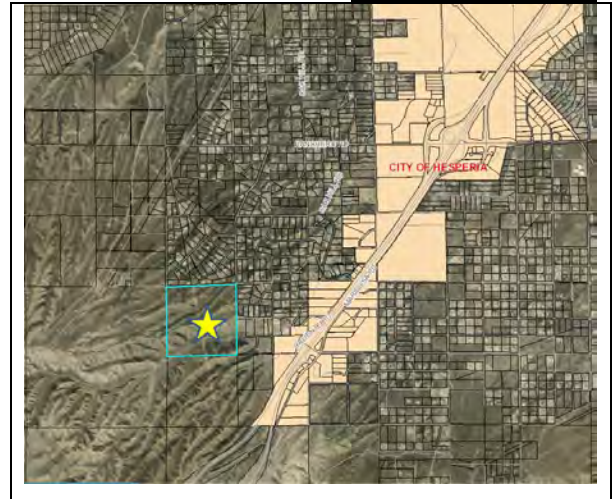
HEARING DATE: October 8, 2020

AGENDA ITEM #3

Project Description

APN: 0357-062-01
Applicant: Bruno Mancinelli
Community: Oak Hills
Location: Southwest corner of Whitehaven Street and Braceo Street
Project No: P201700742/PROJ-2020-00147
Staff: Tom Nieves
Rep: Ludwig Engineering
Proposal: General Plan Amendment to change the land use designation from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL), a Planned Development Permit (PDP) and Tentative Tract Map No. 18533 to subdivide approximately 155 acres into fifty-four residential lots, one open space lot and two lettered detention basin lots.

Vicinity Map -



50 Hearing Notices Sent on: September 24, 2020

Report Prepared By: Tom Nieves, Contract Planner

SITE INFORMATION:

Parcel Size: Approximately 155 acres
Terrain: Rolling terrain with undulating slopes
Vegetation: Scattered desert scrub

TABLE 1 – SITE AND SURROUNDING LAND USES AND ZONING:

| AREA | EXISTING LAND USE | LAND USE ZONING DISTRICT |
|-------|-------------------|--|
| SITE | Vacant | Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Community Plan Floodway (OH/FW) |
| North | Rural Residential | Oak Hills Community Plan Rural Living (OH/RL) |
| South | Vacant | Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Community Plan Floodway (OH/FW) |
| East | Rural Residential | Oak Hills Community Plan Rural Living (OH/RL) |
| West | Vacant | Oak Hills Community Plan Resource Conservation (OH/RC) |

| | Agency | Comment |
|---------------------------|------------------------|---------------------------------|
| City Sphere of Influence: | City of Hesperia | Retain existing rural character |
| Water Service: | Phelan Pinon Hills CSD | Will Serve |
| Sewer Service: | EHS | Septic system |

STAFF RECOMMENDATION: That the Planning Commission recommend that the Board of Supervisors **ADOPT** the Mitigated Negative Declaration, **ADOPT** the Findings as contained in the Staff Report, **ADOPT** the General Plan Amendment, **APPROVE** the Planned Development Permit, subject to the Conditions of Approval, **APPROVE** Tentative Tract Map 18533, subject to the Conditions of Approval and **DIRECT** the Clerk of the Board to file a Notice of Determination.¹

¹. In accordance with Section 86.12.040 of the Development Code, the Planning Commission action is a recommendation to the Board of Supervisors and may only be appealed by the applicant in the event of disapproval.

EXHIBIT 1 – VICINITY MAP

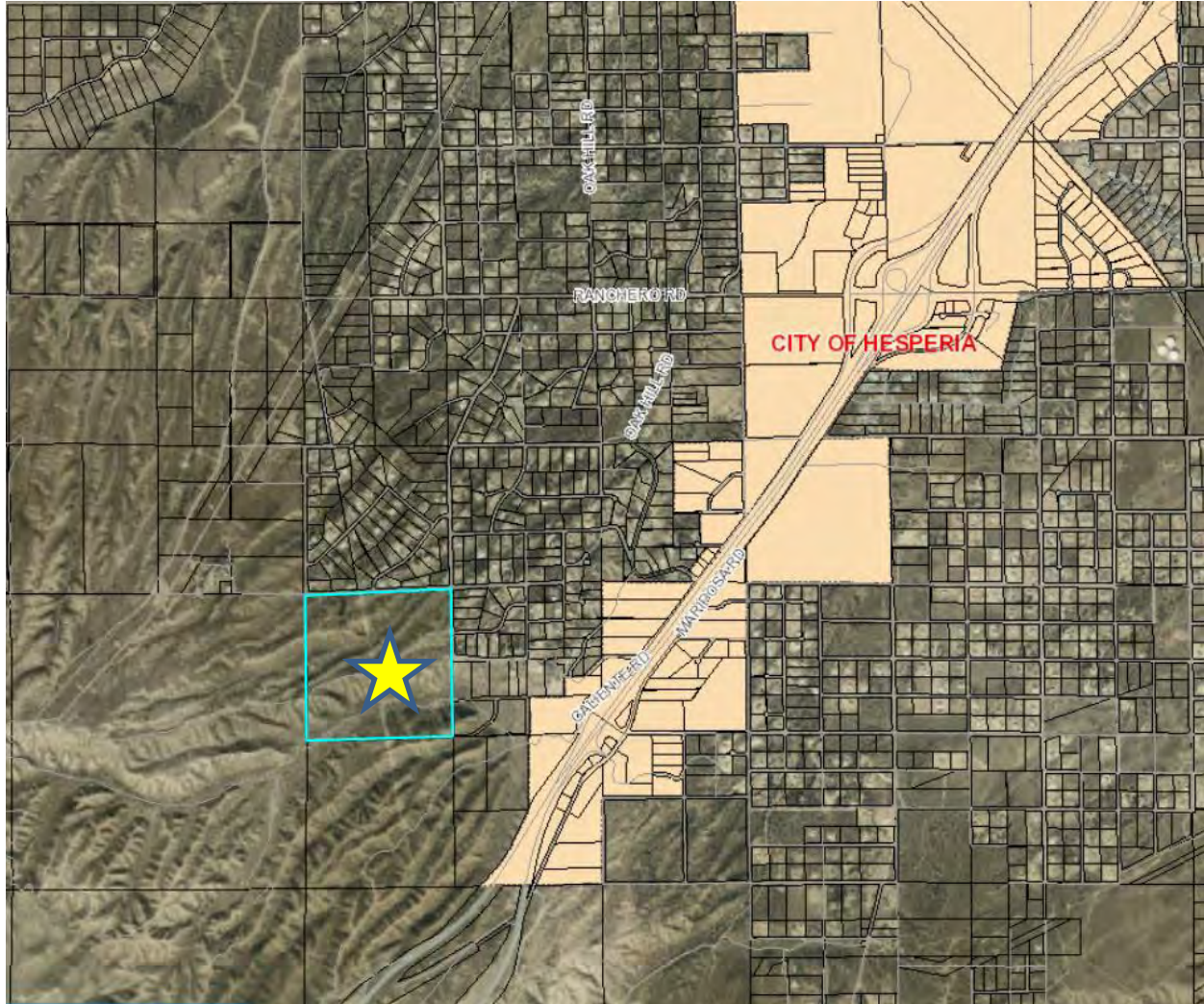


EXHIBIT 2 – PROJECT SITE: ON USGS QUAD

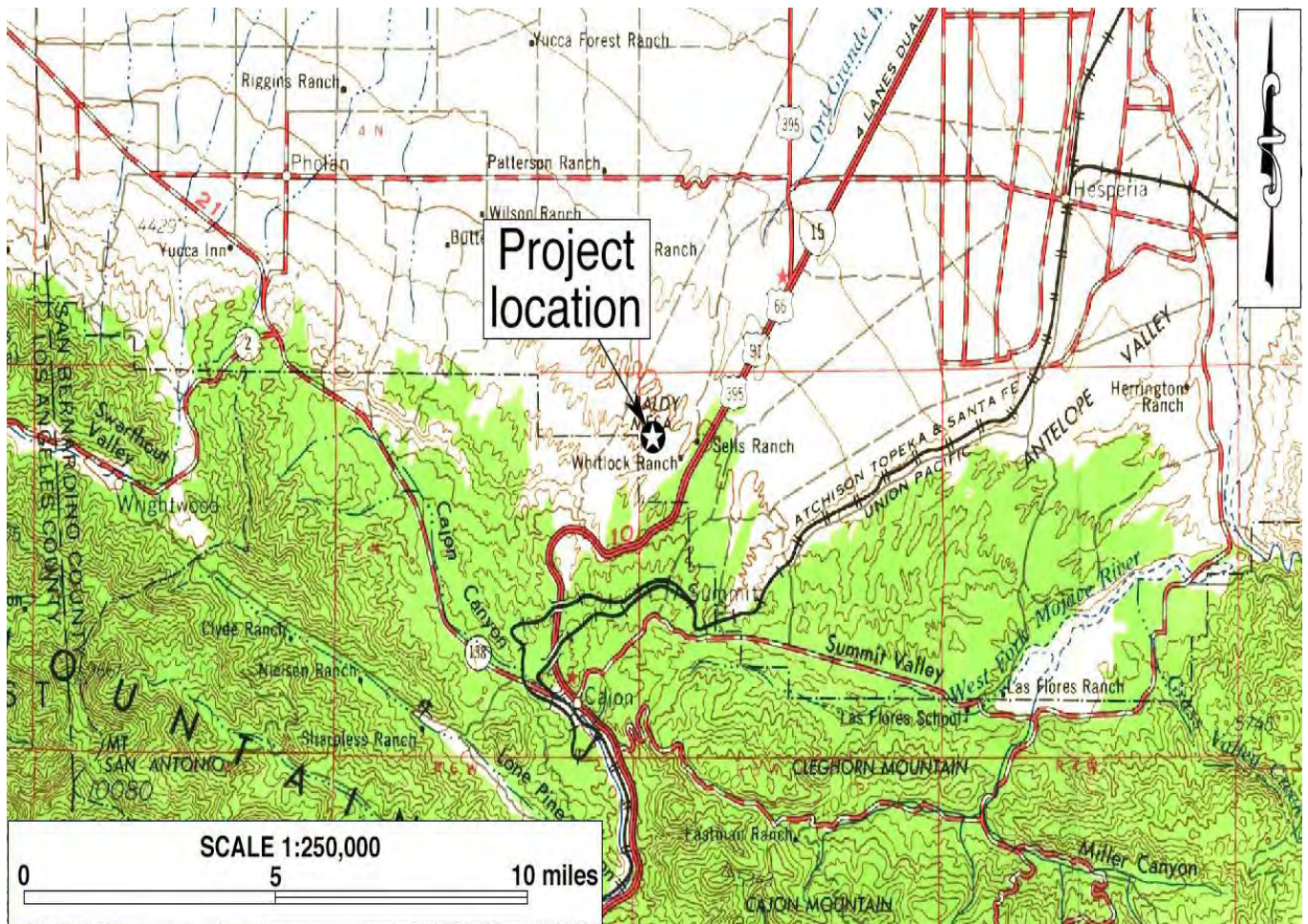
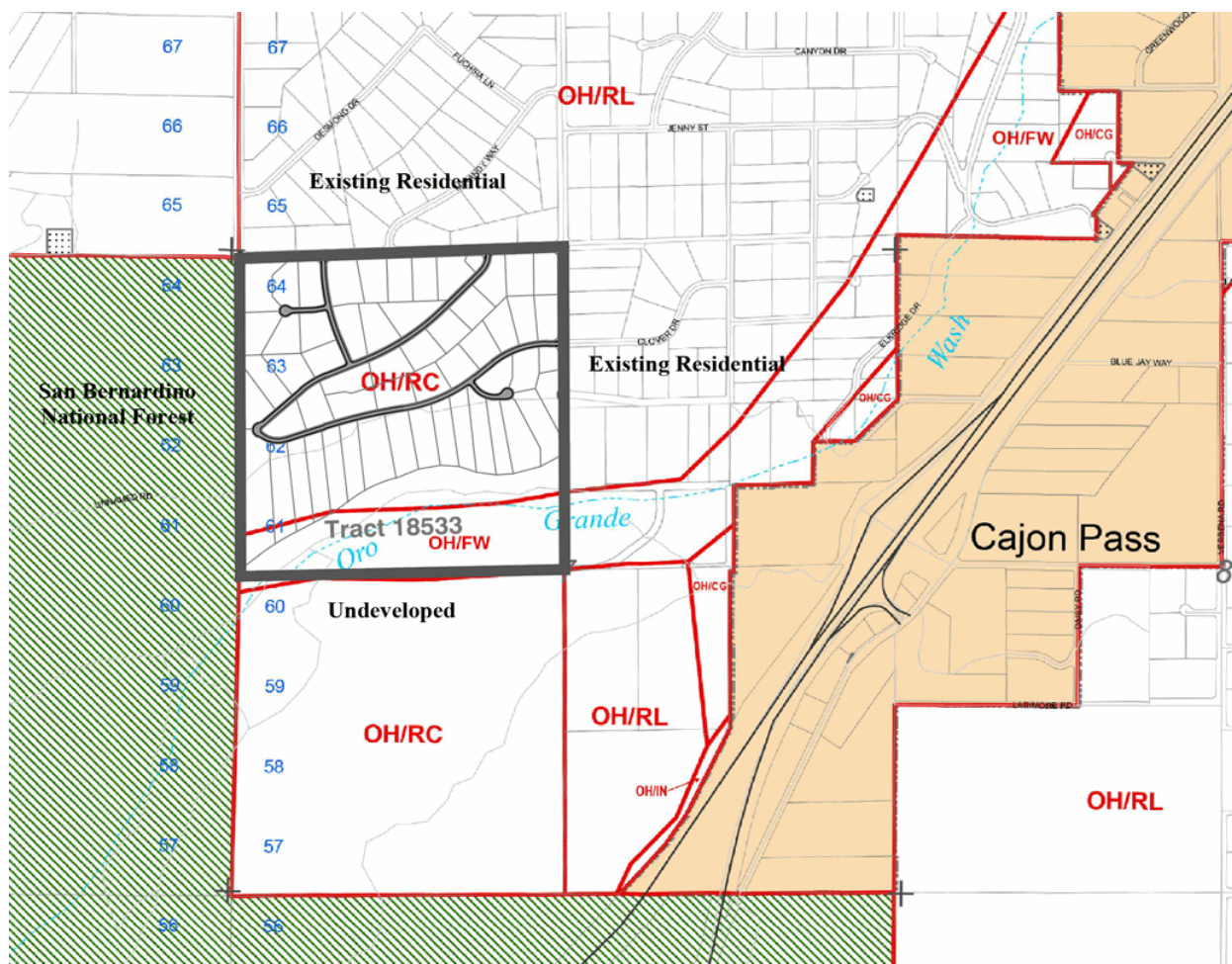




EXHIBIT 4 – EXISTING GENERAL PLAN/ZONING DESIGNATIONS WITH TRACT 18533



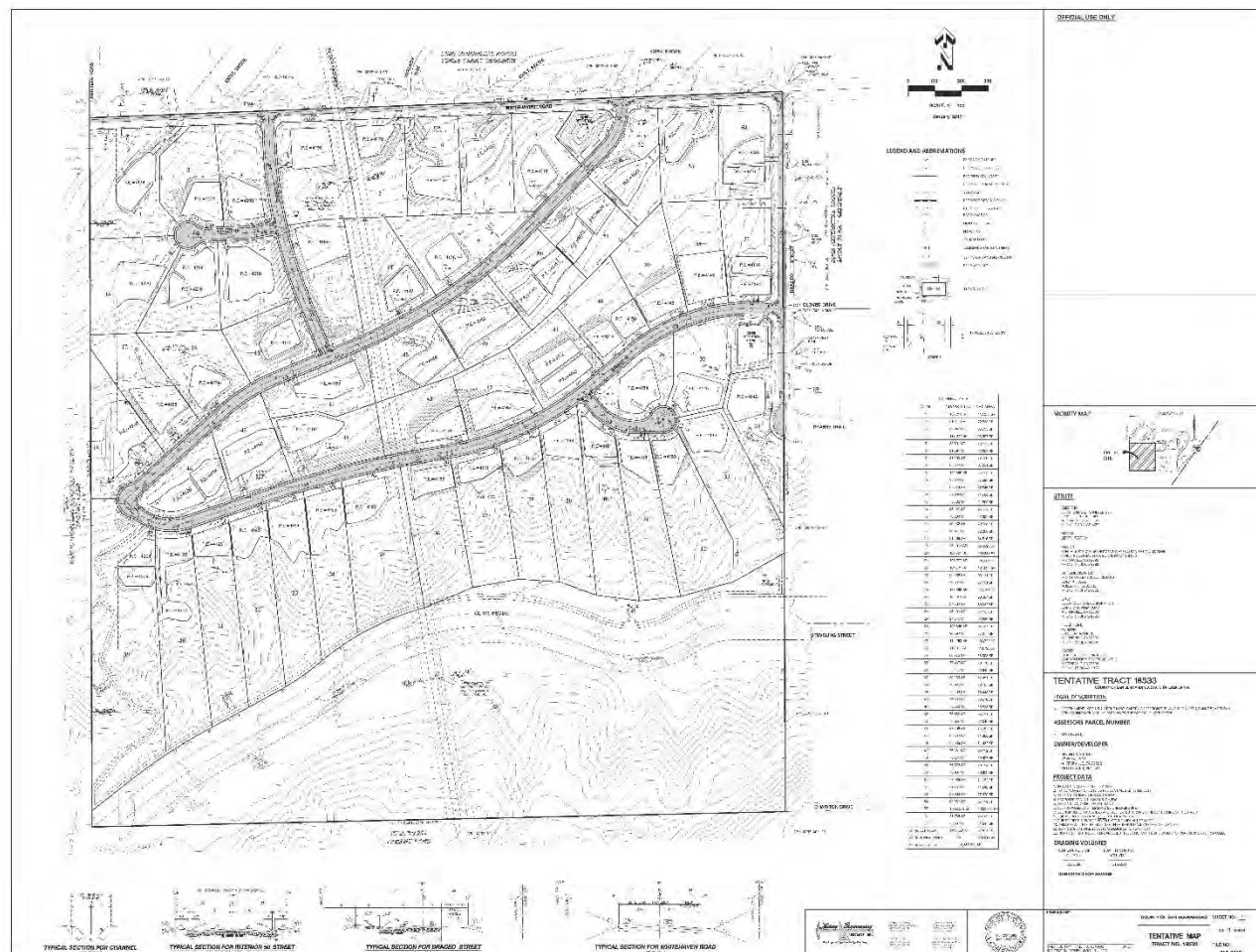


EXHIBIT 6 – SITE PHOTOGRAPHS



Looking West along Whitehaven at Northeast Corner of Property



Looking South along Braceo Street at Northeast Corner of Property



Looking East along Whitehaven Street at Midpoint of Northern Property Boundary

PROJECT DESCRIPTION:

The applicant requests approval of a General Plan Amendment (GPA)¹ to change the land use designation from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL), a Planned Development Permit (PDP) that includes a preliminary and final development plan for a 54-unit single family residential project with a 39-acre open space conservation lot for the Oro Grande Wash and two lettered lots for detention basins and Tentative Tract Map No. 18533 to subdivide approximately 155 acres into 54 single-family residential lots, one open space lot and two lettered detention basin lots (Project).

PROJECT ANALYSIS:

The Project includes the subdivision of 155-acres into 54 residential lots with a minimum size of 1.75 acres and an average size of 2.15 acres. Additionally, the applicant proposes a 39-acre open space conservation lot for the Oro Grande Wash area in the southern portion of the Project site and two lettered lots for detention basins. The intent of the PDP is to allow clustering of the residential lots to respect the site topography and maintain open space. To do so requires a reduction in minimum lot size from 2.5 acres to 1.75 acres. The 39-acre open space lot mentioned above is the primary public benefit derived from the non-standard lot sizes and configuration.

Chapter 85.10 of the County Development Code (Development Code) establishes the PDP process. The stated purpose of the PDP is “to provide for flexibility in the application of Development Code standards to proposed development under limited and unique circumstances. The purpose is to allow consideration of innovation in site planning and other aspects of project design, and more effective design responses to site features, uses on adjoining properties and environmental impacts than the Development Code standards would produce without adjustment.” The Planned Development procedure (Chapter 84.18) provides the administrative mechanism by which an applicant can propose to modify development standards of the Land Use District to achieve design excellence. Another aspect of the County Planned Development regulations is the requirement of a slope density analysis on sites with hillsides or rolling terrain. Based on average slope of the Project site, Section 84.18.030 of the Development Code sets for the formula for density calculations, transfer of density calculations and bonus density calculations. Table 1.A of the Development Plan provides the calculations resulting in the 54 residential lots being proposed, which includes a 10% Bonus Density (5 lots) that is made available in Section 84.18.030(b)(2)(III), as follows:

84.18.030 Development Standards

...

(2) Bonus density.

- (A) An additional bonus in dwelling-unit density, up to 10 percent above that indicated in the General Plan Land Use Zoning District for the area, may be granted by the review authority provided one of the following criteria is met:
 - (I) A publicly valuable resource is provided, preserved, or enhanced that would otherwise require the expenditure of public monies.
 - (II) A public or quasi-public feature is provided above and beyond the normal expectations.
 - (III) An amenity, convenience, or excellence in design is provided above and beyond normal expectations.

¹ Based on the application submission date the project entitlements were reviewed in accordance with the current goals and policies contained in the 2007 General Plan. However, staff anticipates that the Board of Supervisors will consider the 2020 Countywide Plan after the October 8th hearing but prior to consideration of the Project. Accordingly, the Planning Commission's recommendation to the Board of Supervisors includes a consistency analysis with both the 2007 General Plan and 2020 Countywide Plan goals and policies.

The project design respects the terrain by clustering lots to preserve rolling hills and a segment of the Oro Grande wash. The overall density of 0.35 units per acre is less than the density of standard subdivision of 2.5-acre lots typical of the RL land use district.

California Environmental Quality Act Compliance

An Initial Study (SCH #2020060430) was prepared to identify the potential impacts the proposed Project may have on the environment, as well as to identify all design features and mitigation measures that will reduce said impacts to less than significant levels. The County released the Initial Study/Mitigated Negative Declaration (IS/MND) to the public on June 22, 2020, for a 30-day review period (Exhibit D). During the public review period, the IS/MND was available for review on the County's website. In addition, hard copies were available at the County Land Use Services Department, Planning Division at 385 North Arrowhead Avenue, San Bernardino, CA 92415 and San Bernardino County High Desert Government Center, 15900 Smoke Tree Street, Suite 1311, Hesperia, CA 92415.

The MND concludes that all potentially significant environmental impacts resulting from the construction and operation of the proposed Project can be mitigated to a less-than-significant level. The following are summaries of topics/issues of concern addressed in the MND:

Aesthetics: While the proposed Project will certainly be visible to the surrounding community, the Project would not result in significant impacts to scenic vistas of the San Gabriel Mountains to the south or scenic resources, nor substantially degrade the existing visual character or quality of the Project site and its immediate surroundings. The proposed single family use and density of development is consistent with the existing surrounding development in the area.

Air Quality: The analysis of impacts to air quality focus on two distinct aspects of the life of the Project, i.e. temporary short-term construction and long-term operation. As discussed in the MND, the proposed Project is a lot sales program with individual lot owners building a single residence at a time and thus will not exceed Mojave Desert Air Quality Management District (MDAQMD) thresholds during the construction phases of the Project. The analysis also determined that operational emissions would not exceed MDAQMD thresholds and that operational impacts would be less than significant.

Biological Resources: California Department of Fish and Wildlife (CDFW) reviewed the environmental documentation for the project and offered comments and recommendations pursuant to its regulatory authority under the California Fish and Game Code.

CDFW recommended updated information and analyses be provided prior to land alteration or grading affecting various resources having the potential to be found on the Project site, including special status plants, Desert Tortoise, Burrowing Owl, and Mojave Ground Squirrel, as well potential impacts to bed, bank and channel of ephemeral streams on the Project site. Said recommended mitigation measures have been included as Conditions of Approval to confirm and ensure that any impacts will be less than significant.

Cultural Resources: A cultural resource assessment was prepared identifying the cultural, tribal cultural and paleontological resources that exist on the Project site, the Project's impacts on those resources and the actions necessary to protect said resources. Pursuant to AB 52, County staff and the applicant have been in formal consultation with both the San Manuel Band of Mission Indians so as to effectively protect the tribal resources on the Project site.

Fire Protection: Concern has been expressed regarding ingress and egress and the ability to protect the Project site as well as the community at large. San Bernardino County Fire Department reviewed the

application and project materials including the tentative tract map and determined that fire protection and emergency services can be implemented effectively.

Traffic and Circulation: Department of Public Works has determined that the existing street system can accommodate the proposed Project and will not result in a significant impact to the community, nor degrade the level of service in the area.

Water Quality and Water Service: The Project lies within the jurisdiction of the Lahontan Regional Water Control Board (LRWQCB). LRWQCB reviewed the environmental documentation and requested that the project applicant 1) Implement Low Impact Development (LID) design features that will maintain natural drainage to the maximum extent feasible, 2) ensure compliance with the MS4 Waste Discharge Permit and 3) prepare a detailed hydrology study to ensure cumulative erosion impacts to Oro Grande wash are mitigated. Project compliance with water quality standards and waste discharge requirements, as required per mitigation measures and/or conditions of approval, will result in impacts that are less than significant.

Additionally, LRWQCB indicates that the Project may have impacts to waters of the State and may therefore require permits associated with said impacts to be issued by either the State Water Resources Control Board or Lahontan Water Board. Conditions of Approval are proposed to ensure compliance with permitting requirements.

Public Comments:

Project notices were sent to surrounding property owners within 1,300 feet of the Project site, as required by Development Code Section 85.03.080. A Notice of Availability (NOA) of the Draft Mitigated Negative Declaration was sent to surrounding property owners and responsible agencies, as part of the CEQA process. In response to the Project notices, 75 comment letters (included in Exhibit F) were received from residents, organizations and responsible agencies that identified issues and concerns discussed above.

The City of Hesperia submitted a letter describing concerns regarding the proposed General Plan Amendment to a Rural Living (RL) designation and its impact on community character; questions regarding compliance with the Rural Living (RL) development standards; and design recommendations to further protect Oro Grande Wash. Staff has determined that the proposed project is consistent with and a logical extension of the City's Sphere of Influence RR 2-1/2, Rural Residential designation existing to the immediate north and east of the project site. Additionally, the application is consistent with the provisions of the Planned Development Permit (PDP) process in terms of developing lots that are smaller than the underlying designation while conserving natural resources and maintaining density and community character.

Comments received from CDFW recommending updated information and analyses prior to grading or land disturbance. Staff has determined that the CDFW comments do not result in substantial changes to the conclusions in the IS/MND. In response to said comments submitted by CDFW and out of an abundance of caution, the County has addressed their concerns through additional conditions of approval. The comment letter is attached as Exhibit G.

RECOMMENDATION: That the Planning Commission **RECOMMEND** that the Board of Supervisors:

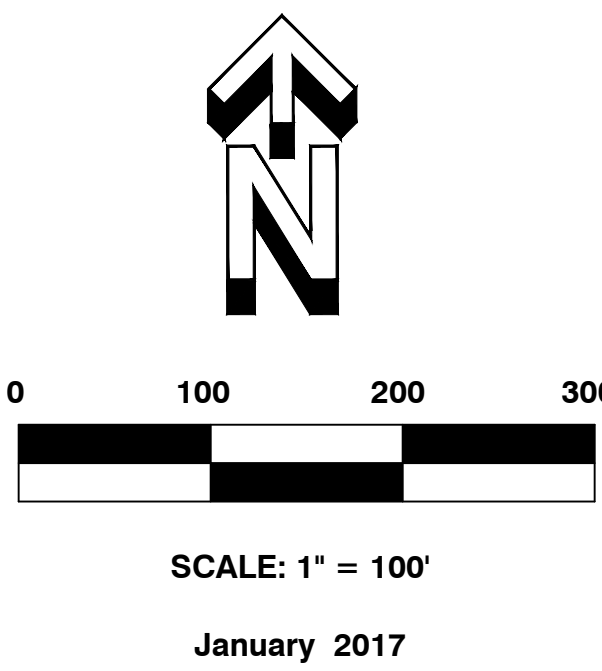
1. **ADOPT** the Mitigated Negative Declaration (SCH No. 2020060430) (Exhibit D);
2. **ADOPT** the Findings as contained in the Staff Report (Exhibit C);
3. **ADOPT** the General Plan Land Use District Amendment from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL);
4. **APPROVE** the Planned Development Permit that includes a preliminary and final development plan for a 54-unit single family residential project with a 39-acre open space conservation lot for the Oro Grande Wash and two lettered lots for detention basins, subject to the recommended Conditions of Approval (Exhibit F);
5. **APPROVE** Tentative Tract Map 18533 to subdivide approximately 155-acres into 54 single-family residential lots, one open space lot and two lettered detention basin lots, subject to the recommended Conditions of Approval (Exhibit F); and
6. **DIRECT** the Clerk of the Board to file the Notice of Determination.

ATTACHMENTS:

EXHIBIT A: Tentative Tract Map No. 18533
EXHIBIT B: Development Plan
EXHIBIT C: Findings
EXHIBIT D: Initial Study/Mitigated Negative Declaration (SCH No. 2020060430)
EXHIBIT E: Correspondence
EXHIBIT F: Conditions of Approval
EXHIBIT G: CDFW Letter

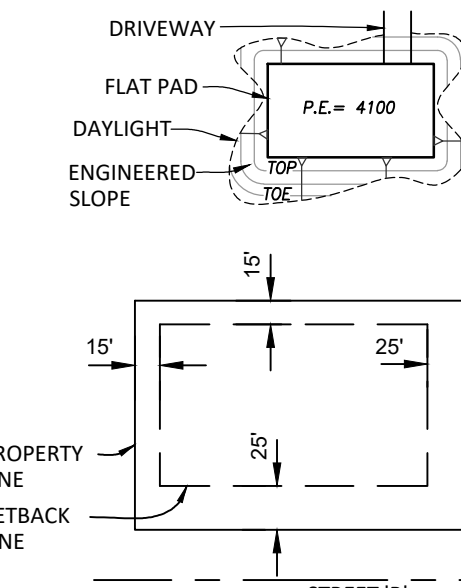
EXHIBIT A

Tentative Tract Map No. 18533



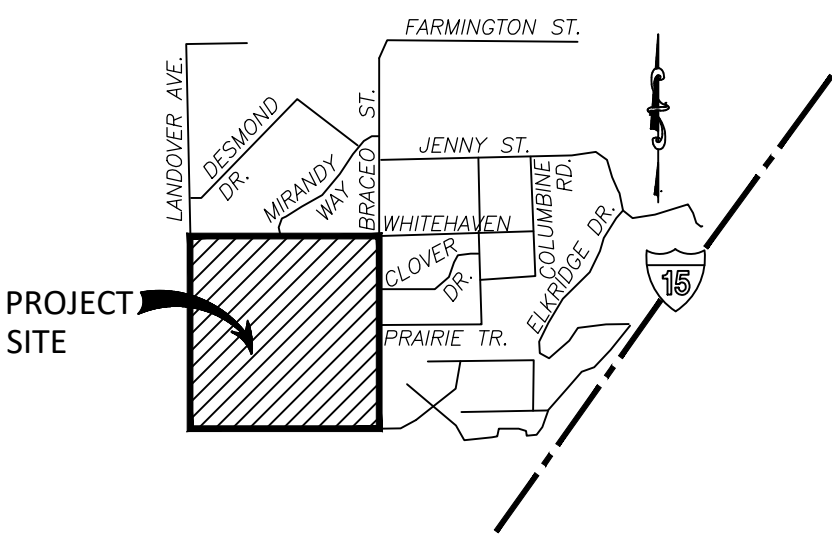
LEGEND AND ABBREVIATIONS

| | |
|------|-----------------------------|
| --- | EXISTING CONTOURS |
| --- | PROPOSED CONTOURS |
| --- | PROPERTY BOUNDARY |
| --- | PROPOSED ROAD CENTERLINE |
| --- | SETBACKS |
| --- | PROPOSED RETAINING WALL |
| P.E. | EXIST. EDGE OF ASPHALT |
| FS | PAD ELEVATION |
| FL | FINISHED SURFACE |
| SF | FLOW LINE |
| APN | SQUARE FOOT |
| □-○ | ASSESSOR'S PARCEL NUMBER |
| □-○ | SEPTIC TANK AND SEEPAGE PIT |
| --- | PROP. ASPHALT |



| LOT No. | GROSS AREA | NET AREA |
|-------------------|--------------|--------------|
| 1 | 135,216 SF | 117,355 SF |
| 2 | 81,811 SF | 72,588 SF |
| 3 | 89,245 SF | 65,555 SF |
| 4 | 117,377 SF | 95,697 SF |
| 5 | 88,691 SF | 78,135 SF |
| 6 | 81,886 SF | 73,053 SF |
| 7 | 81,500 SF | 72,700 SF |
| 8 | 83,248 SF | 67,031 SF |
| 9 | 100,359 SF | 88,198 SF |
| 10 | 95,028 SF | 87,290 SF |
| 11 | 98,743 SF | 82,546 SF |
| 12 | 84,208 SF | 71,966 SF |
| 13 | 76,300 SF | 71,800 SF |
| 14 | 95,123 SF | 93,722 SF |
| 15 | 76,288 SF | 63,302 SF |
| 16 | 85,432 SF | 79,588 SF |
| 17 | 86,476 SF | 82,006 SF |
| 18 | 91,208 SF | 84,515 SF |
| 19 | 261,823 SF | 256,608 SF |
| 20 | 127,561 SF | 124,388 SF |
| 21 | 108,787 SF | 105,081 SF |
| 22 | 104,735 SF | 101,029 SF |
| 23 | 99,338 SF | 95,631 SF |
| 24 | 90,835 SF | 87,151 SF |
| 25 | 138,893 SF | 133,196 SF |
| 26 | 101,018 SF | 96,264 SF |
| 27 | 94,707 SF | 89,082 SF |
| 28 | 85,109 SF | 81,167 SF |
| 29 | 94,345 SF | 90,236 SF |
| 30 | 100,868 SF | 95,767 SF |
| 31 | 90,393 SF | 87,217 SF |
| 32 | 112,263 SF | 108,727 SF |
| 33 | 119,862 SF | 116,792 SF |
| 34 | 80,975 SF | 68,998 SF |
| 35 | 77,437 SF | 70,070 SF |
| 36 | 77,140 SF | 66,349 SF |
| 37 | 89,630 SF | 87,451 SF |
| 38 | 76,929 SF | 73,107 SF |
| 39 | 76,252 SF | 72,448 SF |
| 40 | 76,393 SF | 70,970 SF |
| 41 | 76,856 SF | 69,823 SF |
| 42 | 76,583 SF | 68,911 SF |
| 43 | 77,059 SF | 69,049 SF |
| 44 | 87,458 SF | 78,653 SF |
| 45 | 83,383 SF | 71,466 SF |
| 46 | 82,085 SF | 61,432 SF |
| 47 | 76,861 SF | 66,112 SF |
| 48 | 76,251 SF | 69,407 SF |
| 49 | 76,572 SF | 70,204 SF |
| 50 | 76,909 SF | 70,839 SF |
| 51 | 77,985 SF | 71,262 SF |
| 52 | 84,530 SF | 71,340 SF |
| 53 | 87,682 SF | 77,629 SF |
| 54 | 93,933 SF | 67,719 SF |
| 55 | 1,702,672 SF | 1,702,376 SF |
| A | 41,786 SF | 26,585 SF |
| B | 45,007 SF | 31,347 SF |
| TOTAL LOT AREA | 6,857,231 SF | 6,343,014 SF |
| TOTAL STREET AREA | N/A | 514,217 SF |
| TOTAL SITE AREA | 6,857,231 SF | |

VICINITY MAP



UTILITY

ELECTRIC:
SOUTHERN CALIFORNIA EDISON
12353 HESPERIA ROAD
VICTORVILLE, CA 92392
PHONE: 760/955-4555

SEWER:
SEPTIC SYSTEM

WATER:
SPECIAL DISTRICTS DEPARTMENT WATER & SANITATION DIVISION
12402 INDUSTRIAL BLVD. BUILDING "D" SUITE 6
VICTORVILLE, CA 92395
PHONE: (760) 955-9885

SCHOOL DISTRICT:
VICTOR VALLEY SCHOOL DISTRICT
11824 AIR BASE
ADELANTO, CA 92301
PHONE: (760) 246-2300

GAS:
SOUTHWEST GAS CORPORATION
13471 MARPOSA ROAD
VICTORVILLE, CA 92392
PHONE: (760) 241-9321

TELEPHONE:
VERIDON
15055 LA PAZ DRIVE
VICTORVILLE, CA 92392
PHONE: (760) 243-0000

CABLE:
CHARTER COMMUNICATION
12480 BUSINESS CENTER DR. STE. 2
VICTORVILLE, CA 92392
PHONE: (760) 843-3000

TENTATIVE TRACT 18533

COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

LEGAL DESCRIPTION

- GOVERNMENT LOTS 1 & 2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.

ASSESSORS PARCEL NUMBER

- 0357-062-01

OWNER/DEVELOPER

BRUNO MANCINELLI
7285 SUI BOX
VICTORVILLE, CA 92392
PHONE: (760) 964-622

PROJECT DATA

- PROJECT IN ACRES = 157.4 ± ACRES
- TOTAL NUMBER OF LOTS: 55 RESIDENTIAL, 2 LETTERED LOTS
- EXISTING ZONING: CH/R & CH/FW
- PROPOSED ZONING: CH/R & CH/FW
- EXISTING LAND USE: VACANT LAND
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- ALL NUMBERED LOTS ARE CALCULATED THROUGHOUT THE CENTER LINE OF THE STREET
- THIS PROJECT CONTAINS 8,150 L.F. OF NEW STREET
- THIS PROJECT IS PROPOSING TO HAVE INDIVIDUAL LOT SALES
- THIS SITE WILL NOT BE MASS GRADED AND BUILDING PADS ARE DELINEATED
- SEPTIC SYSTEM WILL BE CUSTOM DESIGNED FOR EACH LOT
- NO PROTECTED TREES OR ENDANGERED TREES EXIST ON THE SITE WHERE IMPROVEMENTS ARE PROPOSED.

GRADING VOLUMES

| RAW CUT VOLUME (CU. YD.) | RAW FILL VOLUME (CU. YD.) |
|-----------------------------|------------------------------|
| 237,300 | 116,000 |

SUBMITTED FOR REVIEW

PREPARED BY:

JIMMY JOE FRY R.C.E. NO. C040692
REGISTRATION EXPIRES MARCH 31, 2017

COUNTY OF SAN BERNARDINO

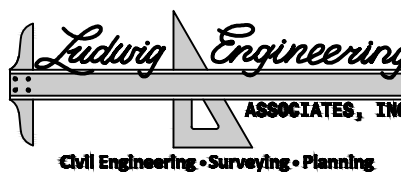
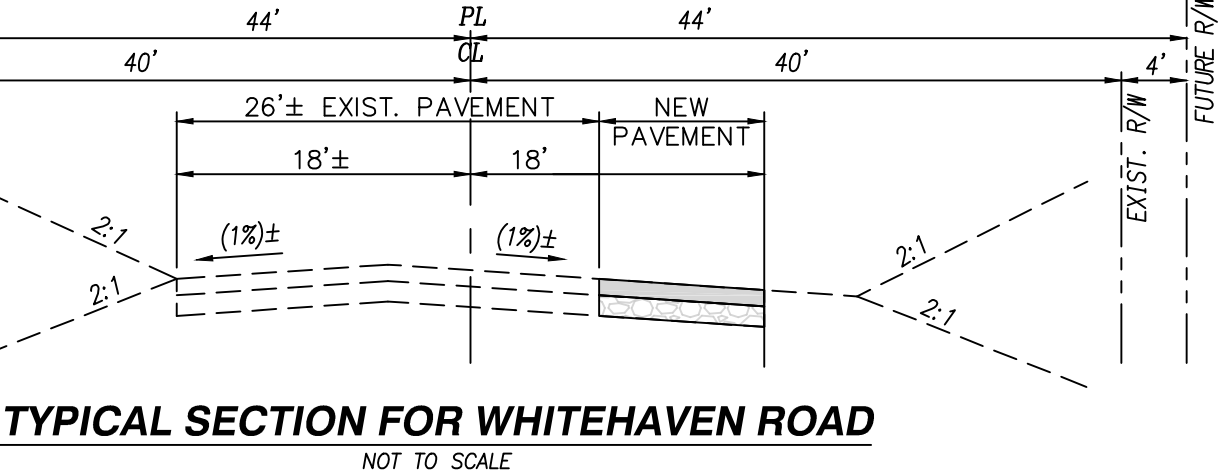
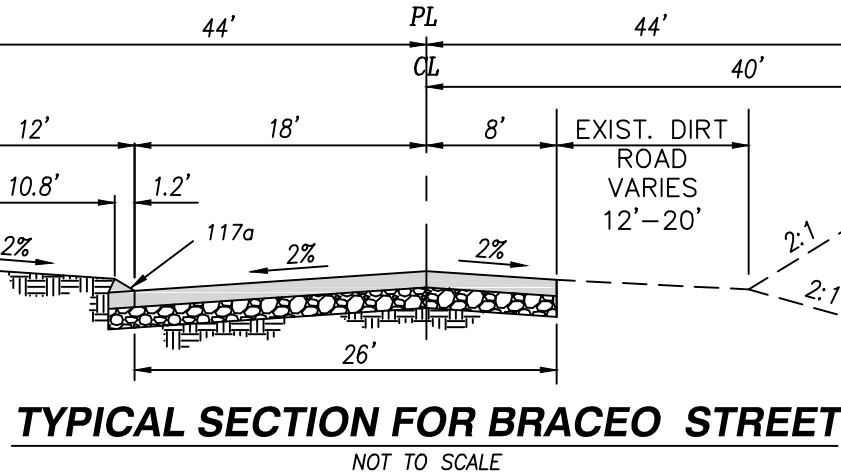
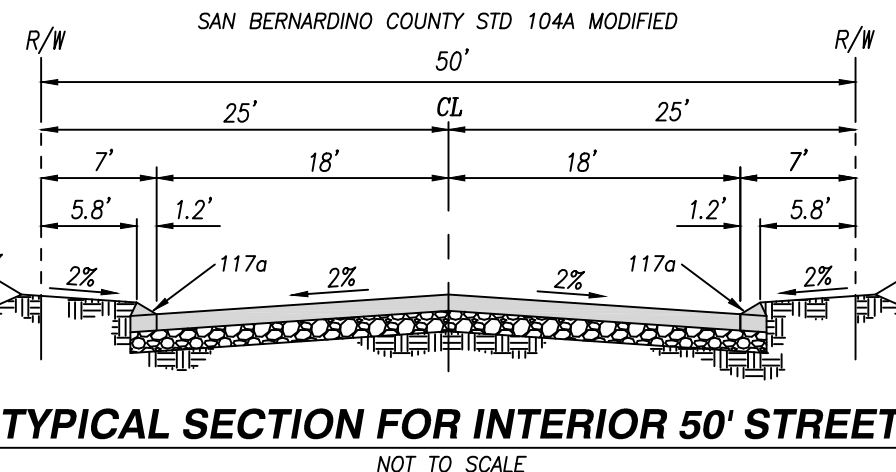
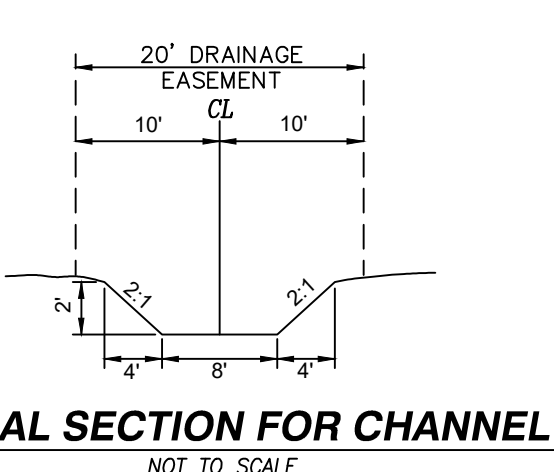
TENTATIVE MAP
TRACT NO. 18533

SHEET NO. 1

OF 1 SHTS.

FILE NO.

MA-0447



188 East Third Street
San Bernardino, CA 92401
Phone: 909-394-8827
Fax: 909-394-8828

5000 Hwy. 91, Ste. B
Fair Harbor, CA 92424
Phone: 909-394-8827
Fax: 909-394-8828

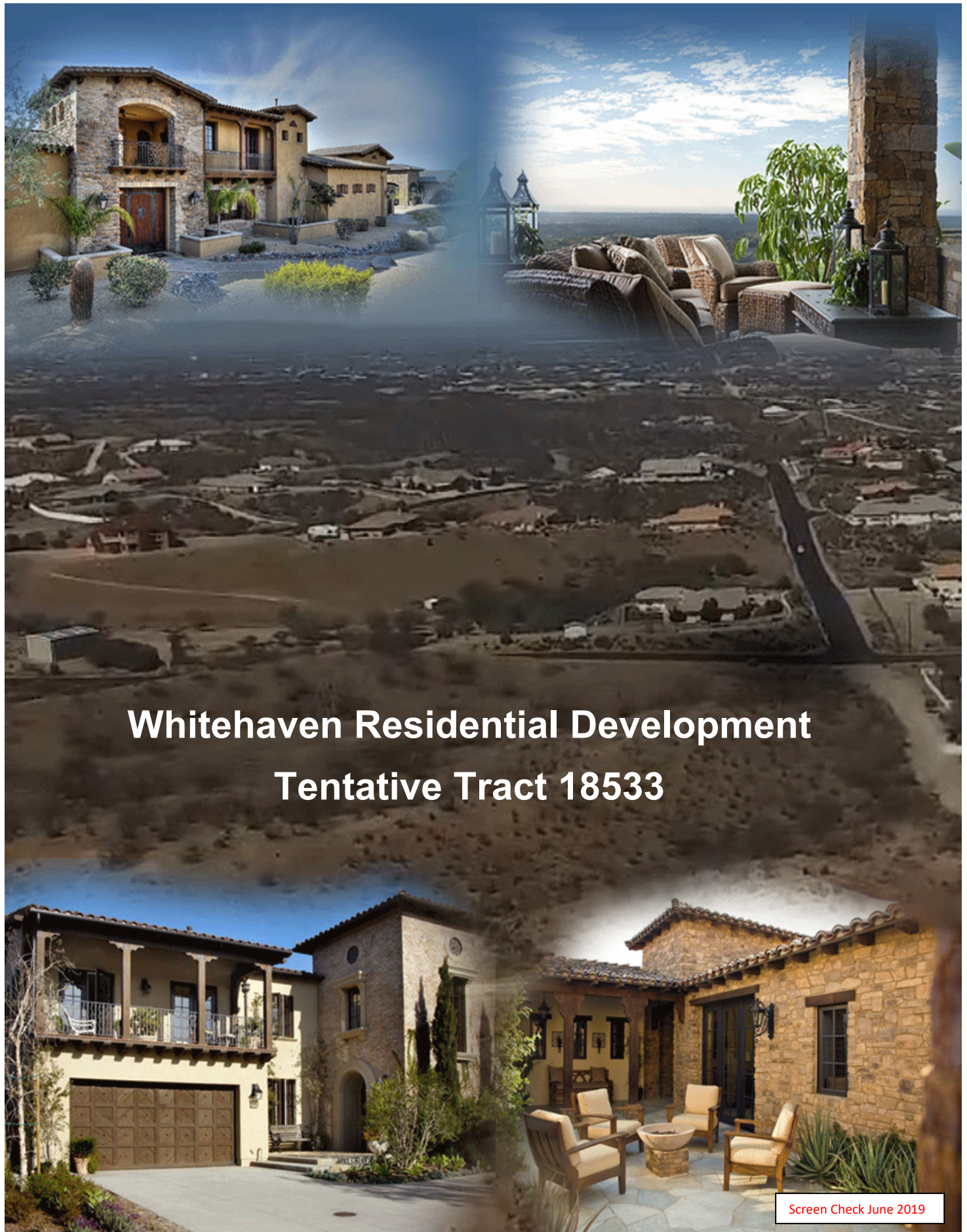
15202 Benson Rd.
Brea, CA 92603
Phone: 949-451-7676
Fax: 949-451-7677

2128 McCulloch Blvd., Ste. B
Brea, CA 92603
Phone: 949-451-7676
Fax: 949-451-7677

15202 Benson Rd.
Brea, CA 92603
Phone: 949-451-7676
Fax: 949-451-7677

EXHIBIT B

Development Plan



Whitehaven Residential Development Tentative Tract 18533

Screen Check June 2019

Plan Development Report

Whitehaven Residential Development

Tentative Tract 18533

Located in the County of San Bernardino California

Prepared for: Mr. and Mrs. Mancinelli
7285 SVL Box
Victorville, CA 92392

Prepared by: Ludwig Engineering
109 E 3rd Street
San Bernardino, CA 92410

Contact: Steve Shover, Architect

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Table 1.A Maximum Unit Allowable Dwelling Density Transfer

Figure 1.1 Vicinity Map

Figure 2.1 Existing County San Bernardino General Plan with TT 18533 Overlay

Table 3.A Development Standards

Figure 5.1 Phasing

Figure 6.1 Trail System

Figure 8.1 Tract Map 18533

1.1 PROJECT INTRODUCTION

The Whitehaven Residential Development is a 157.4-acre single family detached development. The project consists of 55 single-family lots and may be sold as individual lots. Should the market conditions change, the project can be sold as tract sales with the approval of the planning director and other appropriate county departments. The proposed development will be consistent with the surrounding existing neighborhoods and will create a high-quality environment. The development will be consistent with the County of San Bernardino regulations for land use, infrastructure, utilities, and public services; and construction shall be consistent with the current California Building Code.

1.2 PROJECT

The project is located on tax parcel 0357-062-01-0000 within San Bernardino County and zoned Oak Hills/Resource Conservation OH/RC which allows 1 unit per 40 acres. The applicant is proposing a general plan designation of Oak Hills Plan Development (OH/PD) which will allow a density of 1 unit to 2.5 acres which is typical to the surrounding properties to the North and East.

The Whitehaven Development will utilize the County of San Bernardino development code section 84.18.030.1 which allows for a 100% transfer of the density.

The Whitehaven Development has added features above and beyond a standard residential development to meet the 10% bonus density requirement per section 84.18.030.2 by incorporating the following into the project:

- Within the PDP a higher level of Architectural Standards has been provided under section 3 and 4 that required residential designs beyond normal expectations for homes built using the San Bernardino Development Code Standards.
- Lots have been designed to minimize grading which allows the native landscape to remain in place over a majority of the project site.
- Lots have been designed to take in captivating views of the high desert valleys and mountains.
- Approximately 39 acres has been left open in its natural state for recreational and public use.
- A public all-purpose trail has been provided throughout the community that will allows equestrian type uses.

The Whitehaven Development has designed to minimize grading. Each lot has a developable pad with large portion of each lot left in its existing natural state. This decrease in grading allows a reduction in the lot sizes from 2.5 acres to 1.75. as outlined in the Oakhill's Community Plan section OH/LU 1.6.

Table 1.A demonstrates the maximum unit allowable described under development standard 84.18.030 of the County of San Bernardino 2007 Development Standards and the calculation to achieve the proposed density.

| | | | | | | | |
|---|------------------|------------------|------------------|--------------------------|------------------------|----------------|---------------------|
| Project gross acreage | | 157.42 | Acre | | | | |
| Proposed Number of Lots | | 55.0 | Lots | | | | |
| Density | | 0.35 | Units /Ac | | | | |
| SF of Flood Plain | 547,971.72 | SF | 12.58 | | | | |
| | | | | | | | |
| Maximum Allowable Dwelling Density | | | | AC in Flood Plain | Total Usable AC | Density | Allowed Lots |
| Average Slope | SF Sloped | AC Sloped | | | | | |
| 0% - < 15% | 2,840,384.65 | SF | 65.21 | 12.58 | 52.63 | 2.50 | 21.05 |
| 15% - < 30% | 2,135,777.94 | SF | 49.03 | 0 | 49.03 | 2.50 | 19.61 |
| 30% - < 40% | 990,895.76 | SF | 22.75 | 0 | 22.75 | 3.00 | 7.58 |
| 40% - < | 890,172.84 | SF | 20.44 | 0 | 20.44 | 10.00 | 2.04 |
| Sub Total | 6,857,231.19 | SF | 157.42 | 0 | 157.42 | | 50.29 |
| | | | | | | | |
| Allowable Increase | | | | | | | 10.00% |
| Increase in Lots | | | | | | | 5.03 |
| Total Allowable Lots | | | | | | | 55.3 |

Table 1.A Maximum Unit Allowable Dwelling Density Transfer

1.3 PROJECT LOCATION

The project is located west of Highway 15 and bounded by Whitehaven Street to the north and Braceo Street to the east. See Figure 1.1 Vicinity Map for project location.

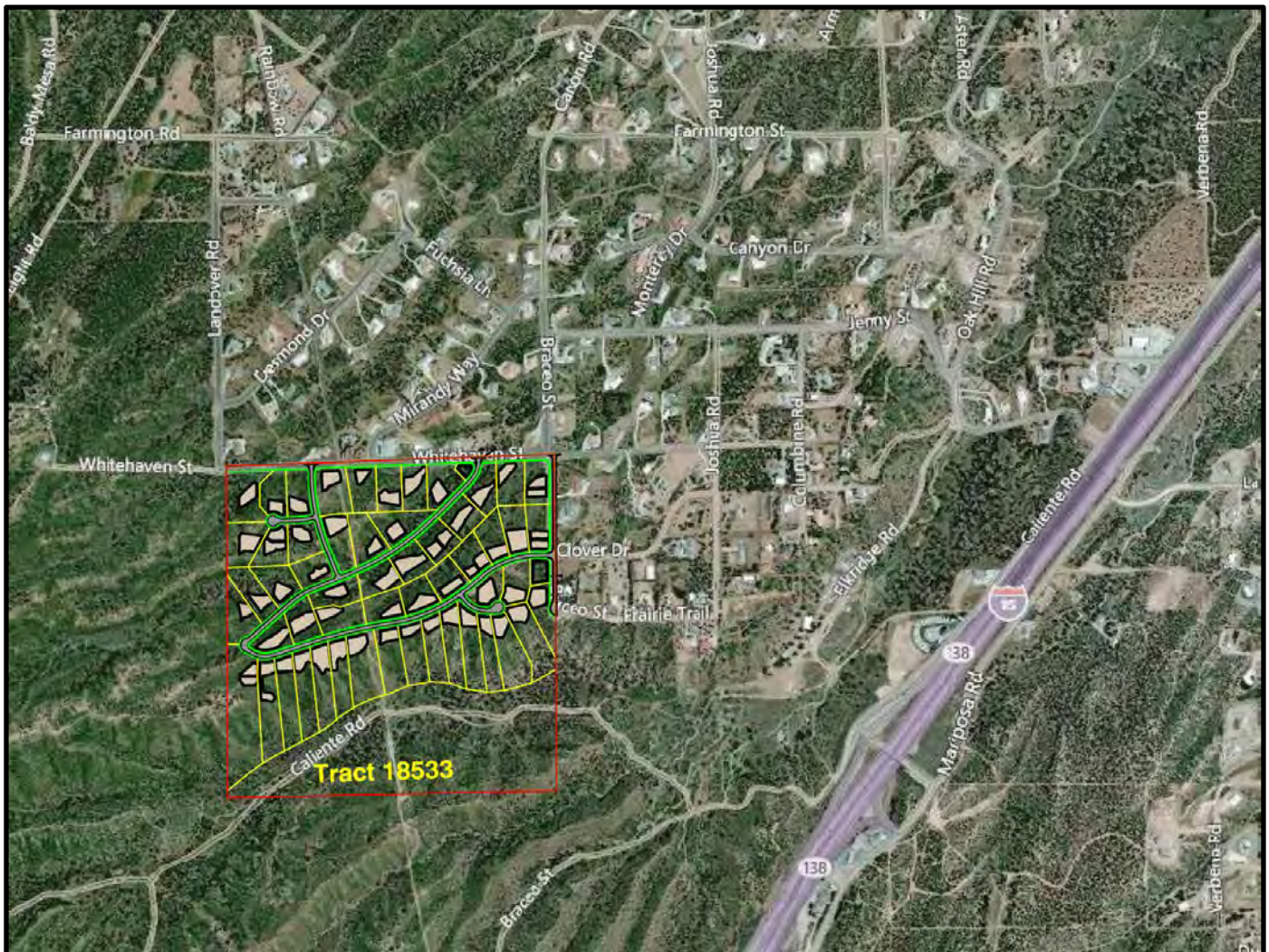


Figure 1.1 Vicinity Map

2.0 CONSISTENCY WITH THE GENERAL PLAN

This section provides an assessment of consistency with the goals and objectives of the current County of San Bernardino General Plan. The framework for this assessment is the list of the County's goals and objectives drawn from the Land Use, Housing, Public Service, Circulation, Conservation, Open Space, Noise and Safety Elements where applicable. The goals and objectives are presented below along with the proposed community's conformance to these goals and objectives.

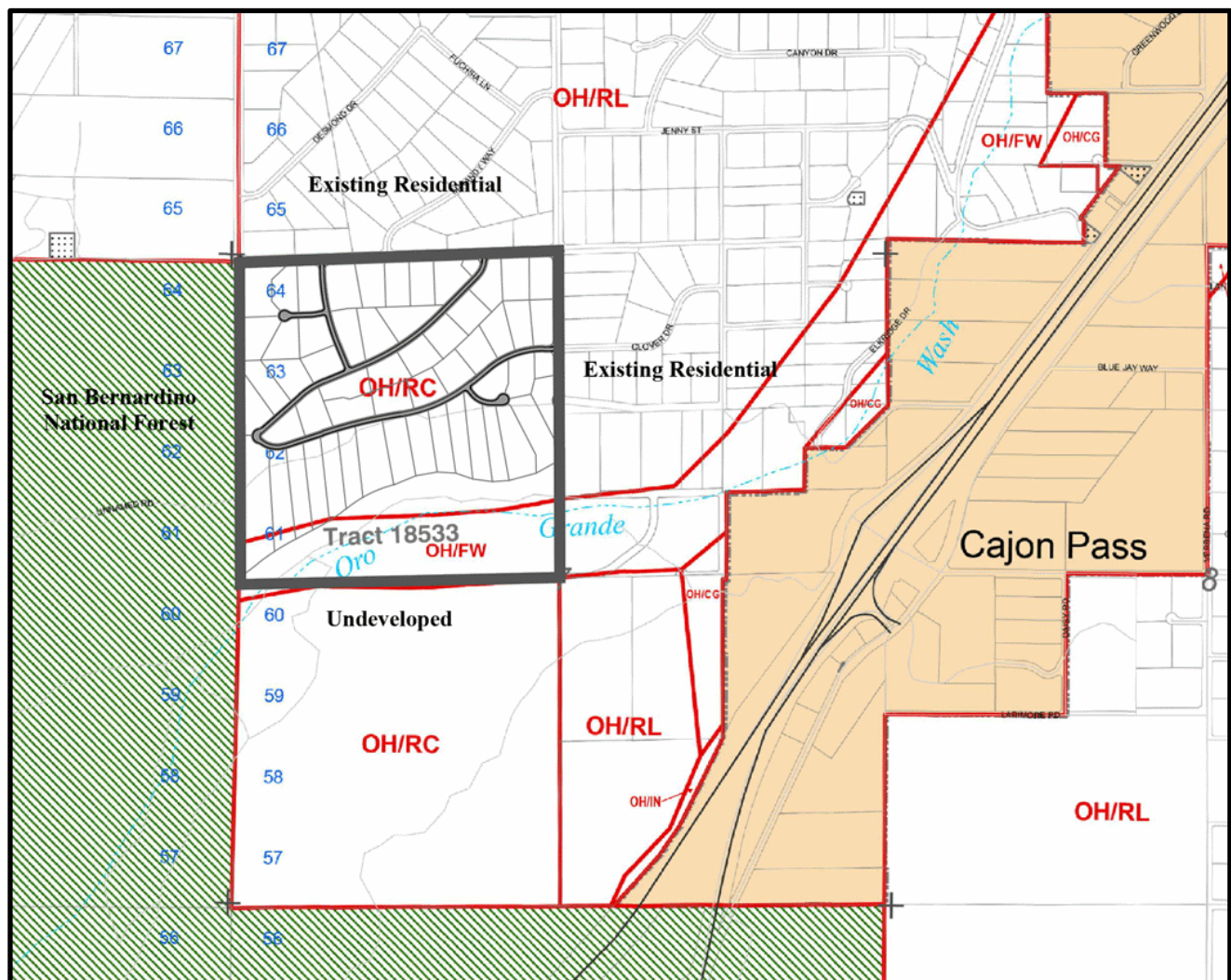


Figure 2.1 Existing General Plan Map with TT 18533 Overlay

2.1 Land Use

GOAL LU 2. Residential land uses will be provided in a range of styles, densities, and affordability and in a variety of areas to live, ranging from traditional urban neighborhoods to more “rural” neighborhoods.

The Whitehaven Residential Development will be consistent by:

- Providing upscale single-family detached housing and similar graded pads, to the surrounding properties will help to maintain traditional urban neighborhoods.
- Creating isolated graded pads leaving large portion of the project in its natural undeveloped state will assist in meeting hillside development standards and ensure compatibility with adjacent existing land uses and community character.

GOAL D/LU 1. Maintain land use patterns in the Desert Region that enhance the rural environment and preserve the quality of life of the residents of the region.

The Whitehaven Residential Development will be consistent by:

- Proposing rezoning from OH/RC to OH/PD Planned Development and applying the County Development, standards and standards in the PDR to help maintain land use patterns.
- Ensuring compatibility by providing similar building pads, vehicular circulation, as well as housing products that will blend in with the adjacent community.

2.2 Circulation and Infrastructure

GOAL CI 5. The County’s road standards for major thoroughfares will complement the surrounding environment appropriate to each geographic region.

The Whitehaven Residential Development will be consistent by:

- Streets shall be located within the public right-of-way and will be designed and constructed in accordance with County standards. Streets are not anticipated to have significant traffic impacts on the existing infrastructure. On-street parking is available within the proposed project. Two car garages and two car residential driveways are required in the PDR. All street are designed within the County Circulation Element and guidelines for the anticipated traffic.

GOAL CI 11. The County will coordinate and cooperate with governmental agencies at all levels to ensure safe, reliable, and high-quality water supply for all residents and ensure prevention of surface and ground water pollution.

The Whitehaven Residential Development will be consistent by:

- Domestic water system development standards include all water lines shall be designed per County of San Bernardino Special Districts Departments Water and Sanitation Division requirements. All domestic water systems will be installed underground in accordance with the requirements and specifications

of the California Department of Public Health, and inspected per County of San Bernardino Special Districts Departments Water and Sanitation Division standards.

- The project will collect and convey the “first flush storm water” to a collection system of improvements that demonstrate compliance with the latest County of San Bernardino County MS4 permit requirements.

GOAL CI 12. The County will ensure adequate wastewater collection, treatment, and disposal consistent with the protection of public health and water quality.

The Whitehaven Residential Development will be consistent by:

- All septic systems will be installed per County of San Bernardino Standards, Lahontan, and California Department of Public Health standards.

GOAL CI 13. The County will minimize impacts to stormwater quality in a manner that contributes to improvement of water quality and enhances environmental quality.

The Whitehaven Residential Development will be consistent by:

- Providing storm drain facilities to ensure the acceptance and disposal of 100-year storm runoff without damage to streets or adjacent property.
- Provide the necessary storm drain, flood control and drainage measures to accommodate a Q100 storm. No development is proposed in the Oro Grand Wash.
- The project will collect and convey the “first flush storm water” to a collection system of improvements that demonstrate compliance with the latest County of San Bernardino County MS4 permit requirements.

GOAL CI 16. The County will protect its residents and visitors from injury and loss of life and protect property from fires through the continued improvement of existing Fire Department facilities and the creation of new facilities, but also through the improvement of related infrastructure that is necessary for the provision of fire service delivery such as water systems and transportation networks.

The Whitehaven Residential Development will be consistent by:

- The Whitehaven development is located on the urban interface, an area with unique fire protection needs. A fuel modification zones landscape area that reduce the threat of fire through vegetation and maintenance is required for the Whitehaven development.

2.3 Housing Element

GOAL D/H 1. Encourage a diversity of housing types that will accommodate all individuals and families from all income levels.

The Whitehaven Residential Development will be consistent by:

- Providing single-family detached housing within the Oak Hills Community. The site will be compatible with the surrounding upscale neighboring housing type.
- Within the PDP a higher level of Architectural Standards has been required under section 3 and 4. This will required residential designs beyond normal expectations for homes built using the San Bernardino Development Code Standards.

2.4 Conservation Element

GOAL CO 2. The County will maintain and enhance biological diversity and healthy ecosystems throughout the County.

The Whitehaven Residential Development will be consistent by:

- Surveying the existing site prior to any development to locate and identify any existing natural resources that shall be protected. A report was prepared by RCA Associates LLC to document existing biological conditions on the site and analyze the potential for biological resources including special status plant and wildlife species to occur on the project site. The site does not support habitat typically associated with the desert tortoise; therefore, protocol surveys were not conducted for the tortoise. In addition, the site is outside of the known distribution of the Mohave ground squirrel, therefore a habitat assessment was not performed for the species.
- No potentially suitable habitat for any special status plant or wildlife species was identified, and no jurisdictional waters were observed during the initial study.”

GOAL CO 3. The County will preserve and promote its historic and prehistoric cultural heritage.

The Whitehaven Residential Development will be consistent by:

- Conducting a historical/archaeological resources records search, pursued historical background research, contacted Native American representatives, and carried out an intensive-level field survey. CRM TECH conducted various avenues of research and did not encounter any “historical resources” within or adjacent to the project area.

GOAL CO 4. The County will ensure good air quality for its residents, businesses, and visitors to reduce impacts on human health and the economy.

The Whitehaven Residential Development will be consistent by:

- Will Coordinate air quality improvement technologies Mojave Air Quality Management District (MAQMD) to improve air quality through reductions in pollutants from the region.

GOAL CO 5. The County will protect and preserve water resources for the maintenance, enhancement, and restoration of environmental resources.

The Whitehaven Residential Development will be consistent by:

- Maintaining drainage courses in their natural condition to the greatest extent practicable and allow some recharge of groundwater.
- Conveying the “first flush of storm water from the streets into two basins that are design to collect and retain a portion of the stormwater. Each single family lot will have a separate collection system that will comply with the County of San Bernardino standards for percolation into the ground.

GOAL D/CO 1. Preserve the unique environmental features and natural resources of the Desert Region, including native wildlife, vegetation, water and scenic vistas.

The Whitehaven Residential Development will be consistent by:

- Using the County Development Code and the Oakhill’s Community Plan I large portion of the project site has been left in its natural state and protects the vegetation, natural drainage, and native wildlife.

2.5 Noise Element

GOAL N 1. The County will abate and avoid excessive noise exposures through noise mitigation measures incorporated into the design of new noise-generating and new noise-sensitive land uses, while protecting areas within the County where the present noise environment is within acceptable limits.

The Whitehaven Residential Development will be consistent by:

- Enforce the state noise insulation standards (California Administrative Code, Title 24) and Chapter 35 of the California Building Code (CBC).
- After construction is complete the Whitehaven Residential Development will generate noises typical to low density development and it is not anticipated to affect the adjacent lands.

2.6 Safety Element

GOAL S 1. The County will minimize the potential risks resulting from exposure of County residents to natural and man-made hazards in the following priority: loss of life or injury, damage to property, litigation, excessive maintenance and other social and economic costs.

The Whitehaven Residential Development is consistent:

- A Geologic report was prepared by Patel and Associates to consider and minimize significant impacts from seismic, liquefaction potential ground movement and landslide activities. A review of the Alquest-Priolo Special Studies Zone map indicated the site is not with any know or published active fault zone.
- Mitigation will be through the incorporation of the Report prepared by Patel and Associates, and or any new geotechnical reports, the California Building Code Standards and County of San Bernardino standards.
- The project collects and retain a portion of all stormwater in basins reducing stormwater flows downstream and assist in protecting downstream properties

GOAL S 3. The County will protect its residents and visitors from injury and loss of life and protect property from fires.

The Whitehaven Residential Development will be consistent by:

- The Whitehaven development is located on the urban interface, an area with unique fire protection needs. A fuel modification zones landscape area that reduce the threat of fire through vegetation and maintenance are required in for the Whitehaven development.

GOAL S 7. The County will minimize exposure to hazards and structural damage from geologic and seismic conditions.

The Whitehaven Residential Development will be consistent by:

- A Geologic report has been prepared by Patel and Associates to consider and minimize significant impacts from seismic, liquefaction potential ground movement and landslide activities. A review of the Alquest-Priolo Special Studies Zone map indicated the site is not with any know or published active fault zone. Mitigate will be through the incorporation of the Report prepared by Patel and Associates, any new geotechnical reports, California Building Code Standards and County of San Bernardino standards.

2.7 PUBLIC SERVICES

Goal LU-8 Communities that allow residents and visitors to enjoy the natural and local setting within reasonable limits of infrastructure, service capacities, and public health and safety, including fire safety and prevention.

The Whitehaven Residential Development will be consistent with the following public services:

- San Bernardino County Fire Department: The San Bernardino County Fire Department Station 40 will provide fire service for the project site.
- San Bernardino County Sheriff: The Victor Valley Station shall be responsible for public safety and general law enforcement within the Oak Hills Community. The Department is organized into operational and support functions that provide efficient emergency responses, pro-active enforcement, follow-up investigations of crimes and accidents, apprehension of criminals and preparation for criminal prosecutions, recovery of stolen property, and the prevention of crime through crime prevention efforts in partnerships with the citizens of the community.
- Schools: Schools services shall be provided by the Snowline Joint Unified School District. The following schools will serve the project: Baldy Mesa Elementary School, Quail Valley Middle School, Serrano High School
- Electricity: Southern California Edison (SCE) shall provide electric service to the project area.
- Natural Gas: The Southern California Gas Company shall provide natural gas service to the project.
- Telephone Service: Verizon provides telephone service to the project area and shall extend service to the project.
- Cable TV: Time Warner Cable provides cable service within the County of San Bernardino and shall provide service at the time contractual arrangements are made.
- Internet Access: Charter Commission offers Internet service within the County of San Bernardino and shall provide service at the time contractual arrangements are made.
- Solid Waste: Waste Management shall provide solid waste collection service for the project. The resident trash bins shall be wheeled out to the curb or driveway apron on trash collection day.



Whitehaven Project Looking Northerly



Whitehaven Project Looking North Easterly

3.0 DEVELOPMENT STANDARDS

3.1 GENERAL PROVISIONS

Any situations not specifically addressed by this document, shall be subject to the County of San Bernardino Development Code.

3.2 DEVELOPMENT STANDARDS

The development standards for the Whitehaven Residential Development are described in section 3 and shall be used in conjunction with the single-family design guidelines in section 4.

3.3 SINGLE-FAMILY DESIGN GUIDELINES/REQUIREMENTS

3.3.1 FLOOR PLANS

The total livable space of the dwelling unit shall be a minimum square footage 2,000 square.

3.3.2 DESIGN AND IMPROVEMENTS

All street and parking areas shall be surfaced with or paved with asphalt concrete, concrete, or other surface approved by the County Public Works Department, and shall be maintained in good condition

Table – 3.A Development Standards

A. Residential

The purpose of the residential development standards is to establish the minimum criteria for the development of single-family dwellings within the Whitehaven Development. The PDR has modified the lot width and depth and some of the building setbacks from the COSB size to stay in line with the 30% reduction of lot size allowed under section OH/LU 1.6 Oakhill's Community Plan. The lot width to depth ratio has been eliminated to take into account the perseveration of the existing irregular topographical conditions as outlined in the PDR section 1.2 .

| Minimum Residential Lot Dimension | Whitehaven STD | COSB STD |
|---|------------------|----------|
| Lot Width | 105' *3, 4 | 150' |
| Lot Width Street Side | 105' *3,4 | |
| Lot Width at Cul-De-Sac | 60' *2, 4, | |
| Lot Depth | 105' *3, 4 | 150' |
| Building Setback (Min.) (All setback measured from property line unless noted.) | | |
| • Front | 25' *1 | 25' |
| • Garage Door | 30' *1 | |
| • Covered Patio (front and or rear) | 20' *1 | |
| • Side Interior | 15' *1 | 15' |
| • Side Street | 17' *1 | 25' |
| • Rear | 15' *1 | 15' |
| • Pool equipment side and rear yard | 5' | |
| • Fence Front Yard *4' (High Max) | 10' | |
| Building Height | 35' | |
| Minimum Residential Lot Size | 76,230 S.F. | |
| Lot Size | | |
| • Residential Building Lot Coverage (Maximum) | 40% | |
| Parking Required | Number of Spaces | |
| • Enclosed Garage (Minimum) | 2 | |

Notes for Table 4.A:

1. Architectural enhancements and projections are allowed to encroach a minimum of 1 foot into the setback.
2. Minimum lot width at Cul-De-Sac is measured along the radial at the front set back.
3. Minimum lot width and depth will be measured at the midpoint of the lot.
4. Maximum lot dimension (width to depth does not apply)

4.0 DESIGN GUIDELINES - REQUIREMENT'S

4.1 PURPOSE AND INTENT

The Architectural Design Guidelines provided within this Master Plan Report are a living document and are intended to be flexible. As such, they permit creative and innovative responses to evolving conditions, such as changes in housing design trends, community desires, and the marketplace. Future design for the single-family residence are designed to appeal to a wide range of residents by providing a variety of housing types, using a variety of styles to create a well-rounded community as shown on following architectural styles.

4.2 ARCHITECTURAL STYLE

The following pages present images illustrating key features and details representative of the selected Whitehaven Residential Development architectural styles. While not all identified, key features need to be included within the design of each home, a sufficient number of the features must be represented in each home to ensure the depicted style is clearly defined and identifiable.

Monterey

In addition to the signature two-story construction and exterior balcony, Monterey style homes are characterized by features including: porches, hip or gable roofs, and thick adobe type walls. Low-pitched gable roofs with shingles or tiles, double-hung windows, plaster or adobe walls, and exposed beams may also be used.

1. Low Pitch Roofs with red tile.

2. Eaves with little to no overhang.

3. Walls with stone or brick.

4. Accent tile.

5. Balconies with wood or iron.

6. Arched above the doors.

7. Wall surface typically of stucco.

8. Second story balcony with wood and or wrought iron.



Spanish Eclectic

Most common in the Southwest and Florida, Spanish-style architecture takes its cues from the missions of the early Spanish missionaries--such as the one at San Juan Capistrano in California--and includes details from the Moorish, Byzantine, Gothic, and Renaissance architectural styles. The houses usually have low-pitched tiled roofs, white stucco walls, and rounded windows and doors. Other elements may include scalloped windows and balconies with elaborate grillwork, decorative tiles around doorways and windows, and a bell tower or two.

- | | |
|-------------------------------------|-------------------------------------|
| 1. Low Pitch Roofs with red tile | 5. Balconies with wood or iron |
| 2. Eaves with little to no overhang | 6. Arched above the doors |
| 3. Stucco or decorative tile vents | 7. Wall surface typically of stucco |
| 4. Accent tile | |



Italianate

Some of the Italian Renaissance characteristics are emphatic eaves supported by corbels, low-pitched roofs, or even flat roofs with a wide projection. A tower is often incorporated hinting at the Italian belvedere or even campanile tower. Motifs drawn from the Italianate style were incorporated into the vocabulary, and appear in Victorian architecture dating from the mid-to-late 19th century.

- | | |
|---|----------------------|
| 4. Low Pitch Roofs | 1. Veranda |
| 5. Ornamental Brackets Supporting Eaves | 2. Classical Columns |
| 6. Arched or Segmental Windows | 3. Cupola |
| 7. Smooth Wall Surface | |
| - | |



Modern

There are varying degrees of Modernism - some will opt for the strict design sense of true Minimalism. Modern style homes can have multiple roof lines at different levels, showing off the complexity of the overall design and the uncommon silhouette of the structure. Varying lines and elongated vaulted ceilings, as well as interesting overhangs. These homes often feature floor-to-ceiling windows and lots of sliding doors. They may also include "clerestory" windows that are set high in the walls of a home to let in light

1. Bold Roof Lines. General Flat Roof
2. Large Windows
3. Large Cantilevered Overhangs and Patios
4. Clean Vertical or Horizontal Line
5. Materials Include Wood, Stone, Smooth Stucco



Craftsman

Craftsman style homes are made of wood siding and brick or sometimes stone. They have broad, low gabled roofs, usually with one or two large front dormers, and wide eaves with exposed rafters under the eaves. The prominent wide, open porches supported by heavy masonry or wood piers. The windows are the most distinctive feature, often using four-over-one or six-over-one double hung windows. They are now commonly called Craftsman windows

1. Gabled or Hipped Roof

2. Deep Overhangs

3. Front Porch

4. Tapered, Square Columns
5. Mixed Materials

6. Hand Crafted Stone and Wood Work

7. Exposed Rafters

8. Wood Siding



Tuscan

Tuscany's natural setting pervades its homes, and has natural materials in abundance. Sandstone and limestone bricks form thick walls. Carved marble provides accents in arches, over doorways, in flooring and as window sills. Large, rectangular windows are set deep in the thick walls and are framed with sandstone brick molding. The entire façade will feature simple, stout wooden shutters.

- | | |
|--|----------------------|
| 1. Low Pitch Roofs | 6. Veranda |
| 2. Ornamental Scrolled Brackets Supports | 7. Classical Columns |
| 3. Arched or Segmental Windows | 8. Cupola |
| 4. Smooth Wall Surface | |
| - | |



4.3 REQUIREMENTS FOR BUILDING ELEVATIONS

1. Design Elements

- a. Building form is a key architectural component in influencing viewer perception of a building. It is important the adhere to the following design principles to create an appealing building:
 - i. Provide a focal point that attracts one's eye.
 - ii. Provide symmetry, asymmetrical, or radial a balance with the structure and project elements.
 - iii. Provide proportion and scale that will offer a relationship between elements in the design with respect to its size.
 - iv. Unity can be achieved by the consistent use of lines, color, material, and texture within the design.

2. Building Form, Mass, and Scale

- Articulation of the building details and various element. Attention to rooflines, and variation in vertical and horizontal planes should be used to reduce the visual mass of a building.

3. Roof Forms

- The roofline is a significant component of building composition and creates an interface with the building façade.
- General massing should vary in an effort to add charter of the architectural style.
- Massing variation should be used together with variable setbacks to create desirable visual movement along the street scene.
- Roof treatments shall be consistent with the architectural style of the building.
- Variety in roof forms, ridge heights and direction of gables is required in order to avoid monotonous rooflines along master planned streets.

4. Windows and Doors

- Window and door details create a strong visual impact through their placement and design. The appropriate proportion for windows and doors to wall massing varies according to the architectural style.

5. Building Materials and Colors

- The palette of materials and colors should be designed to provide harmony with in the Whitehaven development. Bright colors and or material that would not blend with the surrounding architecture or that are outside standard colors used in the building industry are not allowed.

- All surface treatments or materials shall be designed to appear as an integral part of the design. All materials and colors shall wrap architectural elements and terminate at inside corners.

4.4 TRASH

- Resident trash containers shall be stored out of the street view. Receptacles shall be wheeled out to the designated area on the driveway apron, or curb, on trash collection day. Outdoor trash enclosures are prohibited.

4.5 METAL BUILDINGS

- Metal buildings are prohibited.

4.6 FENCING

- Chain Link Fence is prohibited.

4.7 MECHANICAL EQUIPMENT

- Mechanical equipment for single-family residences such as air conditioners, heaters, evaporative coolers, and other such devices will not be mounted on the roof. These types of equipment should be located behind privacy walls or behind landscaping on the ground.
- Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof and wall surfaces.

4.8 METERS

- Natural gas meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances.
- Electrical meters shall be mounted onto the external wall of the building. Builder shall contact the utility provider for minimum clearances.

4.9 PRIVATE AND CLUSTER MAIL BOXES

- Private mailboxes shall complement the architectural theme of the community. Individual property mail boxes shall be maintained by the property owner. Cluster mailboxes shall complement the architectural theme of the community. Cluster mail boxes shall have lighting that complements the theme of the community and complies with the City of Desert Hot Springs night time lighting ordinance.

4.10 SOLAR PANELS

- Panels shall be mounted directly to a sloped roof plane and be integral to the roof design.
- Roof mounted solar panel equipment shall be similar to the roof in color and appearance.

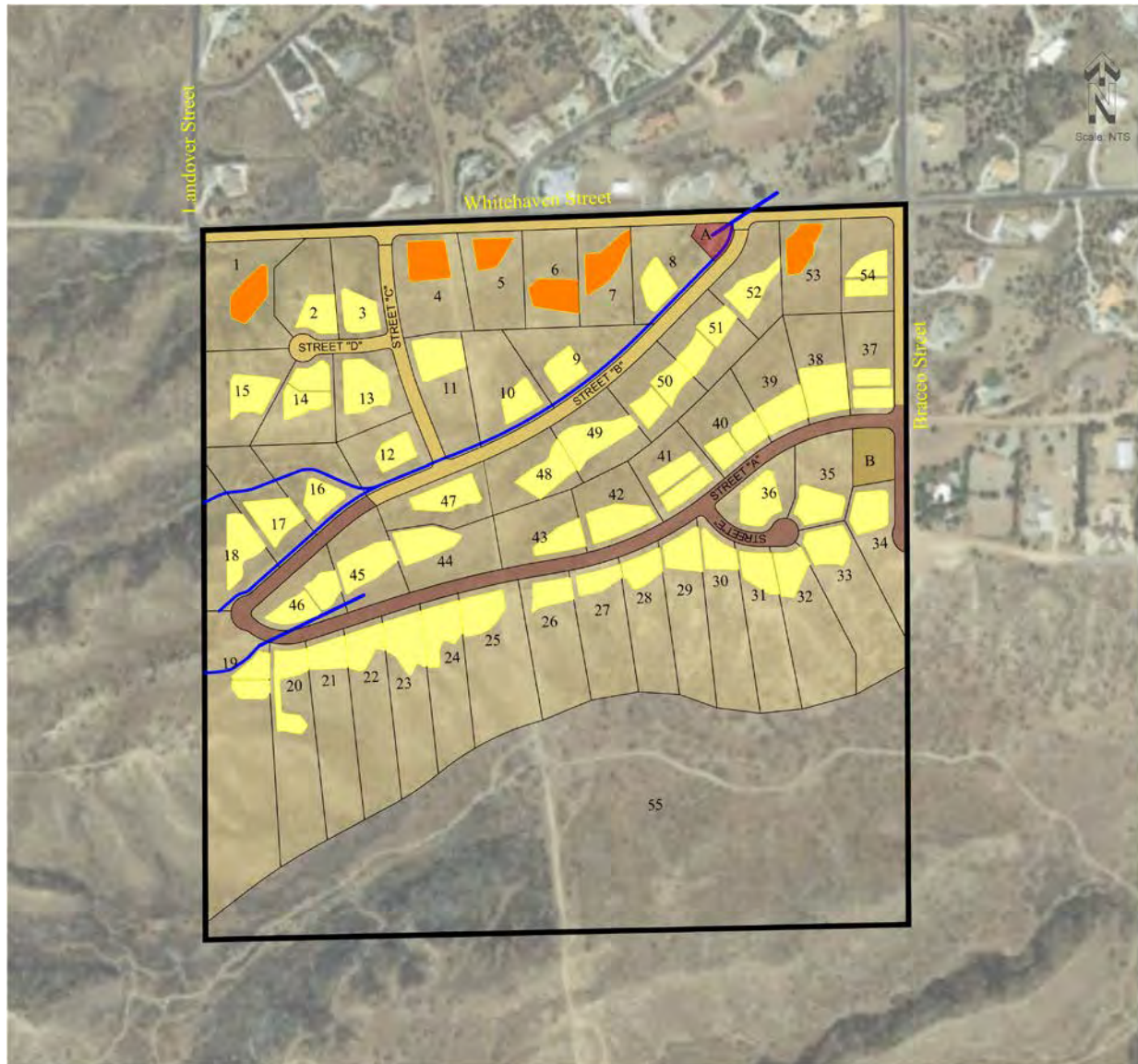
5.0 PROJECT PHASING

Establishing phasing at the project planning stages is virtually impossible considering the ever-changing market demands. However, Figure 5.1 provides an anticipated phasing for the project. All on-site and off-site infrastructure will be developed as required to meet the needs and requirements of the perspective development.

The fire department will require all streets within the improvement to be paved and fire hydrants operable prior to constructing homes on the appropriate phase.

PHASING TABLE

| | Phase 1 | Phase 2 | Phase 3 |
|--------------------------------|---|---|--|
| Grading | <ul style="list-style-type: none"> • Whitehaven • Pads 1,4-7, 53 | <ul style="list-style-type: none"> • Rough Grading all Remaining Pads and Streets | |
| Street Improvements and Paving | | <ul style="list-style-type: none"> • Street B Portion • Street C,D • Whitehaven Street • Braceo Street | <ul style="list-style-type: none"> • Street B Portion • Street A • Street E |
| Water Line and appurtenance | | <ul style="list-style-type: none"> • Street B Portion • Street C,D • Whitehaven Street • Braceo Street | <ul style="list-style-type: none"> • Street B Portion • Street A • Street E |
| Dry Utility | | <ul style="list-style-type: none"> • Street B Portion • Street C,D • Whitehaven Street • Braceo Street | <ul style="list-style-type: none"> • Street B Portion • Street A • Street E |
| Drainage | <ul style="list-style-type: none"> • Graded ditch with infiltration trench on Whitehaven | <ul style="list-style-type: none"> • Channel and storm drain improvements. • Basin A • Graded ditch with infiltration trench on a Portion of Braceo Street | <ul style="list-style-type: none"> • Basin B |



LEGEND

| | Phase 1 | Phase 2 | Phase 3 |
|--|---------|---------|---------|
| Rough Grading | | | |
| Street Paving Water Line and Utilities | | | |
| Drainage Improvements | | | |

Figure 5.1 Phasing

6.0 Equestrian Trail

The Whitehaven development includes an equestrian trail system for mountain biking and horseback riding that meanders throughout the community. These street-side trails are envisioned to be constructed of native materials.



Figure 6.1 Trail System

7.0 INFRASTRUCTURE, UTILITIES AND PUBLIC SERVICES

7.1 PURPOSE AND INTENT

The purpose of this chapter is to identify the infrastructure, utilities and public services required to serve the Whitehaven Residential Development.

7.2 VEHICLE CIRCULATION

The tentative tract map figure 7.1 shows access and required improvements along Whitehaven Street, shall have a right-of-way of 88' (26' existing paving) and Braceo Street, shall have a right-of-way of 88' (26' proposed paving) as well as the onsite 36' wide public streets (50' right-of-way) for internal circulation throughout the project. This shall allow two 12' clear driving lanes for fire trucks access.

7.3 WATER QUALITY MANAGEMENT PLAN (WQMP)

The proposed WQMP for the project will comply with the municipal storm water program (MS-4 Permit) which is administered by San Bernardino County. The project proposes to collect and convey the public street "first flush storm water" to basin "A" and "B" then into the ground. Individual lot infiltration trenched or an approved system will be provided on lots 1-54.

7.4 SANITARY SEWER FACILITIES

Sanitary service to the project shall be provided by private septic systems on each residential lot.

7.5 DOMESTIC WATER FACILITIES

Domestic water shall be provided by the County of San Bernardino Special District Area 70, Improvement J. The project proposes on-tract 8-inch water mains that provide both domestic and fire service to the project. The water meters shall be sized to accommodate fire sprinklers in the houses.

7.6 SUBDIVISION

Tentative Tract Map 18533 figure 8.1 proposes 55 single-family detached residential lots with a minimum lot size of 76,251 square feet.

8.0 GRADING DEVELOPMENT STANDARDS

1. All grading activities shall be in substantial conformance with the overall Conceptual Grading Plan (Figure 8.1).
2. All streets should have a gradient not to exceed County of San Bernardino Standards.
3. The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
4. The toes and tops of all slopes higher than ten (15) feet shall be rounded with curves where possible, with radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
5. Cut or fill slopes exceeding one hundred (150) feet in horizontal length, if any, shall be graded to meander the toe and top of the slope.
6. Graded slopes exceeding ten feet in vertical height shall be hydromulched per County standards prior to the beginning of the rain season to reduce erosion. Other methods may be presented to the County Engineer for review and approval.
7. To prevent dust and dirt erosion. Planting with interim landscaping shall comply with San Bernardino County Best Management Practices for wind and water erosion control.
8. Prior to initial grading activities, a soils report and geotechnical study shall be prepared that further analyzes on-site soil conditions and shall include appropriate measures to control erosion and dust. The Soils Report shall be reviewed and approved by the County prior to any grading permits.
9. Detailed grading plans shall be prepared and shall be reviewed and approved by the County prior to any grading permits for each project or group of projects.
10. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.
11. Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
12. Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.

13. Grading work should be balanced on-site wherever possible, except where cooperative grading with adjacent properties, including potential import and/or export of material, is proposed. A comprehensive master grading plan shall include a detailed discussion of cut and fill activities, soils importing or exporting, and grading activities management.
14. Graded or undeveloped land shall be maintained weed free and planted with interim landscaping or otherwise stabilized in conformance with the requirements of the County of San Bernardino Standards.
15. Unless otherwise approved by the County of San Bernardino Engineering Department, all cut and fill slopes shall be constructed at inclinations of no steeper than 2:1 (two horizontal feet to one vertical foot) or as required in the project Geotechnical Report. The Grading Plan will reflect a contouring intended to control slope erosion.
16. Natural features such as significant rock outcrops shall be protected to the extent feasible in the siting of individual lots and building pads. These features, and proposed of management and protection shall be noted on the mass grading and the detailed grading plans.
17. In order to achieve an earthwork balance within any development phase, grading may encroach into an area of future development unless the proper owner is someone other than the master developer. Encroachment into these areas may involve the borrowing or temporary stockpiling of dirt to balance areas in the order of the project phasing. If such is the case, grading plans shall be prepared for this purpose and grading will be performed as directed by the soils engineer. Any off-site grading will be as directed by the soils engineer and these Grading Plan development standards.
18. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist and paleontologist will be consulted to ascertain their significance.
19. Soil stabilizers should be used to control dust as required by County Standards and other applicable regulations.
20. All grading will be performed in accordance with appropriate County of San Bernardino policies and standards unless noted within this Planed Development report.
21. A grading permit shall be obtained from the County of San Bernardino, as required by the County Grading Ordinance, prior to grading.

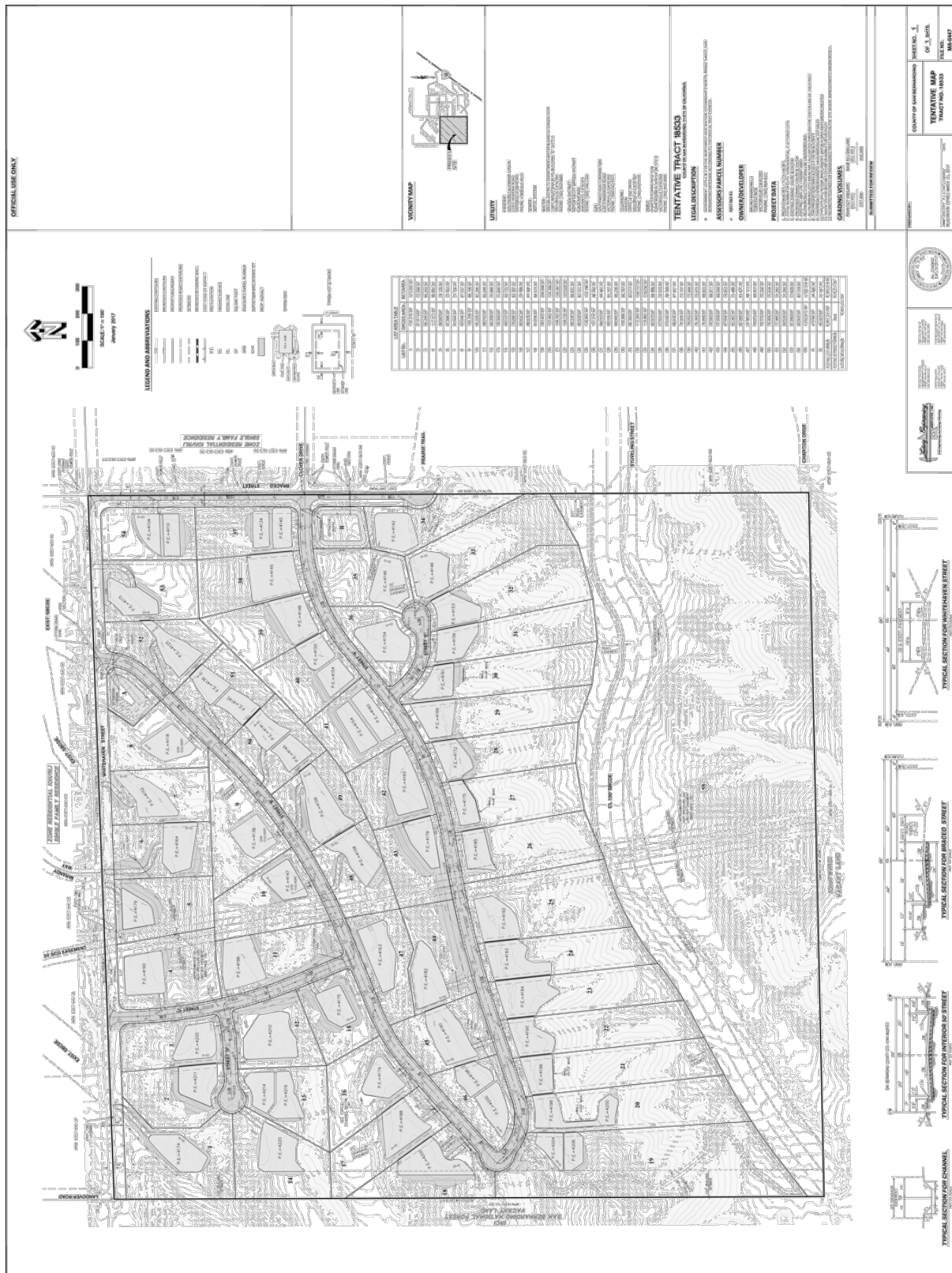


Figure 8.1 Tract Map 18533

9.0 HILLSIDE DEVELOPMENT STANDARDS

- 9.1 To grade a level building pad, each new parcel must have a level building pad of 6000 square feet minimum with minimum dimensions of 60 feet by 80 feet. The existing gradient slope within the building pad envelope will not exceed an average of 30%. This average excludes grading for driveway and pad cut/fill slopes.
- 9.2 In cases where an existing gradient slope within a building pad envelope exceeds an average of 30%; stepped house footings shall be employed to meet the contour of the existing terrain in lieu of a flat graded pad. Grading will not be allowed except for the driveway and turnaround areas for vehicles.
- 9.3 No grading will occur where the existing gradient slope within a proposed building pad envelope exceeds an average of 40%.
- 9.4 Areas where slopes exceed 20% in their natural state and are within 100 feet any area disturbed by grading in the development and or improvements of the Whitehaven Residential Development Project will provide the following:
 1. A soils investigation conducted by a licensed soils engineer has determined the subject slope area to be stable and grading and development impacts mitigatable for at least 75 years, or life of structure, and or cut and fill slopes.
 2. No development shall be permitted except pursuant to submittal of a runoff control plan prepared by a licensed engineer qualified in hydrology and hydraulics; such approved plans shall assure that there would be no increase in peak runoff rate from the developed site over the greatest discharge expected from the existing undeveloped site as a result of storm event criteria specified by the County Engineer. Runoff control shall be accomplished by a variety of measures, including, but not limited to, onsite catchment basins, detention basins, siltation traps, and energy dissipaters, and shall not be concentrated in one area.
 3. Buildings which are proposed for development on hilltops and on pads that are created on hillsides should be sufficiently setback from the downhill slope to mitigate the visual impact of vertical building forms on hillside landforms. Measures which should be incorporated into project design to achieve this objective include the use of adequate slope edge building setbacks and multi-level roof planes which parallel the downhill slope. All buildings that are developed on hilltops or upon pads created on downhill perimeter slopes (greater than 20 feet in height) shall be setback so that the building does not intrude into a .7 foot horizontal to 1 foot vertical imaginary diagonal plane that is measured from the edge of slope to the building.

4. Hillside development should to the extent possible utilize and enhance natural hillside drainage networks. Drainage benches on slopes must vary in width to allow augmented landscaping to provide additional screening. Contour grading, hillside drainage and landscaping can many times be combined to “recreate” a heavy landscaped hillside ravine.
- 9.5.1 Grading on hillsides will be performed in accordance with appropriate County of San Bernardino policies and the Oakhill’s Community Plan unless noted within the Whitehaven Planed Development Plan report.
- 9.6 Grading plans will be approved by the San Bernardino County Engineering Department.

EXHIBIT C

Findings

The applicant proposes an amendment to the General Plan Land Use Designation to change the land use designation from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL), a Planned Development Permit, and Tentative Tract Map No. 18533 to subdivide approximately 155 acres into 54 residential lots, one open space lot and two lettered detention basin lots (Project).

It should be noted that the following analysis discusses consistency and compliance with applicable goals and policies of the current 2007 County General. The County is in the process of amending the General Plan as part of the Policy Plan contained within the Countywide Plan (2020 General Plan). Depending on the timing of the 2020 General Plan and the timing of this Project by the Planning Commission and Board of Supervisors, goals and policies affecting this proposal may be amended. Therefore, an analysis of the goals and policies of the 2007 General Plan and 2020 General Plan have been prepared.

FINDINGS - GENERAL PLAN AMENDMENT. [SBCC 86.12.060]

- 1. The proposed amendment is internally consistent with all other provisions of the General Plan and the Oak Hills Community Plan.**

2007 General Plan Consistency Analysis:

Goal D/CO 1. Preserve the unique environmental features and natural resources of the Desert Region including native wildlife, vegetation and scenic vistas.

Consistency: On-site open space/conservation lot in the southern portion of the Project site is proposed which will preserve unique environmental features affecting native wildlife and vegetation.

Policy D/CO 1.1. Encourage the greater retention of existing native vegetation for new development projects to help conserve water, retain soil in place and reduce air pollutants,

Consistency: The Project proposes a 39-acre open space lot which will retain native vegetation, conserve water, retain soil in place and reduce air pollutants. Additionally, the Project will not employ a mass grading approach but will grade only building pads and driveways for each residential lot.

2013 Oak Hills Community Plan Consistency Analysis:

Policy OH/LU 1.2. In recognition of the community's desire to preserve the rural character and protect the area's natural resources, projects that propose to increase the density of residential land uses or provide additional commercial land use districts or zones within the plan area should only be considered if the following findings can be made:

a. That the change will be consistent with the community character. In determining consistency the entire General Plan and all elements of the community plan shall be reviewed.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will be compatible with the existing surrounding land uses in the area, will not detract from the community character and is compliant with all other aspects of the community plan.

b. That the change is compatible with surrounding uses, and will provide for a logical transition in the plan area's development. One way to accomplish this is to incorporate planned development concepts in the design of projects proposed in the area.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will not detract from the community character. The planned development concept is proposed for this Project in order to provide a mechanism to preserve Oro Grande Wash as an open space feature while reducing the minimum lot size from 2.5 acres to 1.75 acres.

c. That the change shall not degrade the level of services provided in the area, and that there is adequate infrastructure to serve the additional development that could occur as a result of the change. Densities should not be increased unless there are existing or assured services and infrastructure, including but not limited to water, wastewater, circulation, police and fire, to accommodate the increased densities.

Consistency: All infrastructure, public facilities and services are available to serve the Project.

2020 Countywide Plan Consistency Analysis:

Policy LU-2.3. Compatibility with natural environment. We require that new development is located, scaled, buffered, and designed for compatibility with the surrounding natural environment and biodiversity.

Consistency: The Project proposes to establish a 39-acre open space lot that will conserve the natural environment in Oro Grande Wash. Additionally, the project will minimize land alteration by employing a grading concept whereby only building pads and driveways will be graded. Mass grading approach will not be utilized.

Policy LU-2.8. Rural lifestyle in the Mountain/Desert regions. We intend that new residential development in the unincorporated Mountain and Desert regions offer a lower intensity lifestyle that complements the suburban and urban densities in incorporated cities and towns to provide a range of lifestyle options. Master planned communities in unincorporated Mountain/Desert regions may provide a broader range of lifestyles and densities.

Consistency: With the proposed minimum lot size of 1.75 acres and an average of 2.15 acres, the Project maintains the lower intensity lifestyle of the immediate surrounding community and complements the suburban and urban densities in incorporated cities and towns, providing a range of lifestyle options.

Policy NR-3.2. Residential clustering. We allow residential development to cluster housing units in order to reduce the consumption of undeveloped land, maximize the amount of open space, preserve natural resources, conform to natural topography/grade, and/or reduce exposure of structures to natural hazards.

Consistency: The Project is processing a Planned Development Permit to allow the "clustering" of residential lots with a minimum size of 1.75 acres and an average of 2.15 acres, while creating a 39-acre open space lot in the Oro Grande Wash area.

2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the County.

Consistency: The amendment facilitates a project that has incorporated appropriate conditions of approval and mitigation measures to protect and enhance public health, safety and welfare. The public interest will be served in that the Project will generate increased revenue to the community as a result of increased property taxes and

development impact fees, resulting in enhanced local public services; the Project will promote significant economic development within the local community, including construction jobs, which support local businesses such as recreation/retail establishments, building supplies and materials establishments, as well as eating establishments; the Project formally sets aside valuable habitat for the protection of the most sensitive biological resources.

- 3. The proposed land use zoning district change is in the public interest, therefore will be a community benefit, and other existing and allowed uses will not be compromised.**

Consistency: The Project will provide housing opportunities on 54 residential lots while maintaining the goals and policies of the County General Plan and the Oak Hills Community Plan. Existing and allowed uses in the area will not be compromised by the development of the Project site as proposed. The proposed Project retains and protects the existing desert character of the community, an identified goal of the General Plan Oak Hills Community Plan, by preserving open spaces and conservation areas. The Project will also promote significant economic development within the community, including construction jobs.

- 4. The proposed land use zoning district change will provide a reasonable and logical extension of the existing land use pattern in the surrounding area.**

Consistency: The Project site is located with existing residential development to the north and east. Existing circulation improvements will provide vehicular access to the Project site and all necessary public services and infrastructure are available.

- 5. The proposed land use zoning district change does not conflict with provisions of the Development Code.**

Consistency: Concurrent with the proposed general plan amendment, the applicant is processing a Planned Development Permit which will allow a minimum lot size of 1.75 acres, a reduction from the 2.5-acre minimum in the Rural Living (OH/RL) land use designation requested, while conserving Oro Grande Wash as a 39-acre open space/conservation lot. The Project conforms to all other applicable Development Code requirements.

- 6. The proposed land use zoning district change will not have a substantial adverse effect on surrounding property.**

Consistency: The Project is compatible with surrounding land uses and includes appropriate mitigation measures and conditions of approval to ensure County

performance standards are met and that the project will not have an adverse effect on the surrounding property.

7. **The affected site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the proposed or anticipated uses and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.**

Consistency: The site has been conditioned to ensure adequate water and wastewater needs of the Project have been met. Fire protection will also be provided by the San Bernardino County Fire Protection District, which has reviewed the Project and provided appropriate conditions of approval. The Project will have access to sufficient permitted solid waste storage and landfill capacity to accommodate the Project's solid waste disposal needs. The County has evaluated drainage associated with the Project and determined that impacts will be less than significant with the implementation of specified conditions of approval.

FINDINGS: PLANNED DEVELOPMENT PERMIT [SBCC Section 85.10.050]

1. **The proposed development is consistent with the General Plan and any applicable plan.**

2007 General Plan Consistency Analysis:

Goal D/CO 1. Preserve the unique environmental features and natural resources of the Desert Region including native wildlife, vegetation and scenic vistas.

Consistency: On-site open space/conservation lot in the southern portion of the Project site is proposed which will preserve unique environmental features affecting native wildlife and vegetation.

Policy D/CO 1.1. Encourage the greater retention of existing native vegetation for new development projects to help conserve water, retain soil in place and reduce air pollutants,

Consistency: The Project proposes a 39-acre open space lot which will retain native vegetation, conserve water, retain soil in place and reduce air pollutants.

Additionally, the Project will not employ a mass grading approach but will grade only building pads and driveways for each residential lot.

2013 Oak Hills Community Plan Consistency Analysis:

Policy OH/LU 1.2. In recognition of the community's desire to preserve the rural character and protect the area's natural resources, projects that propose to increase the density of residential land uses or provide additional commercial land use districts or zones within the plan area should only be considered if the following findings can be made:

a. That the change will be consistent with the community character. In determining consistency the entire General Plan and all elements of the community plan shall be reviewed.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will be compatible with the existing surrounding land uses in the area, will not detract from the community character and is compliant with all other aspects of the community plan.

b. That the change is compatible with surrounding uses, and will provide for a logical transition in the plan area's development. One way to accomplish this is to incorporate planned development concepts in the design of projects proposed in the area.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will not detract from the community character. The planned development concept is proposed in order to provide a mechanism to preserve Oro Grande Wash as an open space feature while reducing the minimum lot size from 2.5 acres to 1.75 acres.

c. That the change shall not degrade the level of services provided in the area, and that there is adequate infrastructure to serve the additional development that could occur as a result of the change. Densities should not be increased unless there are existing or assured services and infrastructure, including but not limited to water, wastewater, circulation, police and fire, to accommodate the increased densities.

Consistency: All infrastructure, public facilities and services are available to serve the Project.

2020 Countywide Plan Consistency Analysis:

Policy LU-2.3. Compatibility with natural environment. We require that new development is located, scaled, buffered, and designed for compatibility with the surrounding natural environment and biodiversity.

Consistency: The Project proposes to establish a 39-acre open space lot that will conserve the natural environment in Oro Grande Wash. Additionally, the Project will minimize land alteration by employing a grading concept whereby only building pads and driveways will be graded. Mass grading approach will not be utilized.

Policy LU-2.8. Rural lifestyle in the Mountain/Desert regions. We intend that new residential development in the unincorporated Mountain and Desert regions offer a lower intensity lifestyle that complements the suburban and urban densities in incorporated cities and towns to provide a range of lifestyle options. Master planned communities in unincorporated Mountain/Desert regions may provide a broader range of lifestyles and densities.

Consistency: With the proposed minimum lot size of 1.75 acres and an average of 2.15 acres, the Project maintains the lower intensity lifestyle of the immediate surrounding community and complements the suburban and urban densities in incorporated cities and towns, providing a range of lifestyle options.

Policy NR-3.2. Residential clustering. We allow residential development to cluster housing units in order to reduce the consumption of undeveloped land, maximize the amount of open space, preserve natural resources, conform to natural topography/grade, and/or reduce exposure of structures to natural hazards.

Consistency: The Project is processing a Planned Development Permit to allow the "clustering" of residential lots with a minimum size of 1.75 acres and an average of 2.15 acres, while creating a 39-acre open space lot in the Oro Grande Wash area.

- 2. The physical characteristics of the site have been adequately assessed and the site for the proposed development is adequate in terms of shape and size to accommodate the use and all landscaping, loading areas, open spaces, parking areas, setbacks, walls and fences, yards, and other required features.**

Consistency: The physical characteristics of the Project site have been adequately assessed and the site for the proposed development is adequate in terms of shape

and size to accommodate the use and all landscaping, open spaces, setbacks, walls and fences, yards, and other required features.

- 3. The site for the proposed development has adequate access, in that the site design and development plan conditions consider the limitations of existing streets and highways and provides improvements to accommodate the anticipated requirements of the proposed development.**

Consistency: The site design and development plan have considered the limitations of existing streets and highways and provides improvements to accommodate the anticipated requirements of the proposed development.

- 4. Adequate public services and facilities exist, or will be provided, in compliance with the conditions of development plan approval, to serve the proposed development and the approval of the proposed development will not result in a reduction of public services to properties in the vicinity to be a detriment to public health, safety, and general welfare.**

Consistency: Adequate public services and facilities exist, or will be provided, in compliance with the conditions of development plan approval, to serve the proposed development. The approval of the proposed development will not result in a reduction of public services to properties in the vicinity or be a detriment to public health, safety, and general welfare.

- 5. The proposed development, as conditioned, will not have a substantial adverse effect on surrounding property or their allowed use, and will be compatible with the existing and planned land use character of the surrounding area**

Consistency: The proposed development, as conditioned, will not have a substantial adverse effect on surrounding property or their allowed use. The single-family residential development with minimum lot size of 1.75 acres and average lot size of 2.15 acres, along with the 39-acre open space lot in the southern portion of the Project site will be compatible with the existing and planned land use character of the surrounding area.

- 6. The improvements required by the proposed conditions of development plan approval, and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the project site including fire, flood, seismic, and slope hazards.**

Consistency: The improvements required by the proposed conditions of development plan approval, including implementation of Fuel Modification Plan, Water Quality

Management Plan (WQMP) and Storm Water Pollution Prevention Plan (SWPPP), and the manner of development adequately address all natural and manmade hazards associated with the proposed development and the Project site including fire, flood, seismic, and slope hazards.

- 7. The proposed development carries out the intent of the Planned Development Permit provisions by providing a more efficient use of the land and an excellence of design greater than that which would be achieved through the application of conventional development standards.**

Consistency: The proposed Planned Development Permit results in an excellence of design greater than that which would be achieved through the application of conventional development standards in that a 39-acre open space/conservation lot is provided through the consolidation of the residential lots. Compatibility with surrounding 2.5-acre residential land uses is maintained with a proposed minimum lot size of 1.75 acres and an average lot size of 2.15 acres.

- 8. If the development proposes to mix residential and commercial uses whether done in a vertical or horizontal manner, the residential use is designed in manner that is buffered from the commercial use and is provided sufficient amenities to create a comfortable and healthy residential environment and to provide quality of life for the residents. The amenities may include landscaping, private open space, private or separated entrances, etc.**

Consistency: The Project does not propose to mix residential and commercial uses.

FINDINGS: TENTATIVE TRACT MAP 18533 [SBCC Section 87.02.060]

- 1. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable community plan, and any applicable specific plan.**

2007 General Plan Consistency Analysis:

Goal D/CO 1. Preserve the unique environmental features and natural resources of the Desert Region including native wildlife, vegetation and scenic vistas.

Consistency: On-site open space/conservation lot in the southern portion of the Project site is proposed which will preserve unique environmental features affecting native wildlife and vegetation.

Policy D/CO 1.1. Encourage the greater retention of existing native vegetation for new development projects to help conserve water, retain soil in place and reduce air pollutants,

Consistency: The Project proposes a 39-acre open space lot which will retain native vegetation, conserve water, retain soil in place and reduce air pollutants. Additionally, the Project will not employ a mass grading approach but will grade only building pads and driveways for each residential lot.

2013 Oak Hills Community Plan Consistency Analysis:

Policy OH/LU 1.2. In recognition of the community's desire to preserve the rural character and protect the area's natural resources, projects that propose to increase the density of residential land uses or provide additional commercial land use districts or zones within the plan area should only be considered if the following findings can be made:

a. That the change will be consistent with the community character. In determining consistency the entire General Plan and all elements of the community plan shall be reviewed.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will be compatible with the existing surrounding land uses in the area, will not detract from the community character and is compliant with all other aspects of the community plan.

b. That the change is compatible with surrounding uses, and will provide for a logical transition in the plan area's development. One way to accomplish this is to incorporate planned development concepts in the design of projects proposed in the area.

Consistency: The proposed development, with a minimum lot size of 1.75 acres, and average lot size of 2.15 acres will not detract from the community character. The Planned Development concept is proposed in order to provide a mechanism to preserve Oro Grande Wash as an open space feature while reducing the minimum lot size from 2.5 acres to 1.75 acres.

c. That the change shall not degrade the level of services provided in the area, and that there is adequate infrastructure to serve the additional development that could occur as a result of the change. Densities should not be increased unless there are existing or assured services and infrastructure, including but not limited to water, wastewater, circulation, police and fire, to accommodate the increased

densities.

Consistency: All infrastructure, public facilities and services are available to serve the Project.

2020 Countywide Plan Consistency Analysis:

Policy LU-2.3. Compatibility with natural environment. We require that new development is located, scaled, buffered, and designed for compatibility with the surrounding natural environment and biodiversity.

Consistency: The Project proposes to establish a 39-acre open space lot that will conserve the natural environment in Oro Grande Wash. Additionally, the Project will minimize land alteration by employing a grading concept whereby only building pads and driveways will be graded. Mass grading approach will not be utilized.

Policy LU-2.8. Rural lifestyle in the Mountain/Desert regions. We intend that new residential development in the unincorporated Mountain and Desert regions offer a lower intensity lifestyle that complements the suburban and urban densities in incorporated cities and towns to provide a range of lifestyle options. Master planned communities in unincorporated Mountain/Desert regions may provide a broader range of lifestyles and densities.

Consistency: With the proposed minimum lot size of 1.75 acres and an average of 2.15 acres, the Project maintains the lower intensity lifestyle of the immediate surrounding community and complements the suburban and urban densities in incorporated cities and towns, providing a range of lifestyle options.

Policy NR-3.2. Residential clustering. We allow residential development to cluster housing units in order to reduce the consumption of undeveloped land, maximize the amount of open space, preserve natural resources, conform to natural topography/grade, and/or reduce exposure of structures to natural hazards.

Consistency: The Project is processing a Planned Development Permit to allow the "clustering" of residential lots with a minimum size of 1.75 acres and an average of 2.15 acres, while creating a 39-acre open space lot in the Oro Grande Wash area.

- 2. The site is physically suitable for the type and proposed density of development site.**

Consistency: The tract map includes adequate building pads, setbacks and access roads.

- 3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

Consistency: All significant environmental impacts from the implementation of the Project have been mitigated to a less than significant level with the implementation of appropriate mitigation measures.

- 4. The design of the subdivision and type of improvements are not likely to cause serious public health problems.**

Consistency: The site location, the subdivision design, and the density proposed are such that hazards from flood, fire, noise and other potential public health hazards are minimal with the implementation of the proposed conditions of approval and mitigation measures.

- 5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision.**

Consistency: The recorded map will require all necessary public rights of easements to be shown. The development will provide legal and physical access to the site with proper documentation of those access rights. The conditions of approval shall require that any easement conflicts be resolved and that statements of concurrence be provided from utility companies, whose easements may be affected by the proposed development prior to recordation.

- 6. The discharge of the sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.**

Consistency: The proposed homes will be served by on-site systems, in compliance with the Regional Water Quality Control Board.

- 7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.**

Consistency: The proposed lots will provide adequate building setback guidelines for the land use. In addition, the future residences can add roof top solar as an accessory use.

8. **The proposed subdivision, its design, density and type of development and improvements conforms to the regulations of the Development Code and the regulations of any public agency having jurisdiction by law.**

Consistency: The size and shape of the proposed lots are adequate for the type of residential development proposed, and appropriate agencies (including County Surveyor, County Public Works, County Fire, County Environmental Health Services, County Building and Safety, County Special Districts and LAFCO) have all reviewed and approved the Project design, the proposed conditions and the mitigation measures.

ENVIRONMENTAL FINDINGS:

The environmental findings, in accordance with Chapter 85.03.040 of the San Bernardino County Development Code, are as follows:

Pursuant to provisions of the California Environmental Quality Act (CEQA) and the San Bernardino County Environmental Review guidelines, the above referenced project has been determined to not have a significant adverse impact on the environment with the implementation of all the required Conditions of Approval and mitigation measures. A Mitigated Negative Declaration (MND) will be adopted and a Notice of Determination (NOD) will be filed as part with the San Bernardino County Clerk's office. The MND represents the independent judgment and analysis of the County acting as lead agency for the Project.

EXHIBIT D

Initial Study/Mitigated Negative Declaration (SCH No. 2020060430)

**SAN BERNARDINO COUNTY
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION
ENVIRONMENTAL CHECKLIST FORM**

This form and the descriptive information in the application package constitute the contents of Initial Study pursuant to County Guidelines under Ordinance 3040 and Section 15063 of the State CEQA Guidelines.

PROJECT LABEL:

| | | | |
|-------------------|---|------------------------|-----------------------------------|
| APN: | 0357-062-01-0000 | USGS Quad: | Hesperia and Cajon Summit, Calif. |
| Applicant: | Bruno Mancinelli 7285 SVL BOX Victorville, CA 92392 | T, R, Section: | T 03N R 05W SEC 7 |
| Project # | P201700742 | Community Plan: | Oak Hills - Phelan |
| Staff: | Tom Nieves, Contract Planner | LUZD: | OH/RC; OH/FW |
| Rep | | Overlays: | Fire Safety 1 (FS-1) |
| Proposal: | General Plan Amendment to change the land use designation from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL) and Tentative Tract Map No. 18533 to subdivide approximately 155 acres into fifty-four residential lots, one open space lot and two lettered detention basin lots. | | |

PROJECT CONTACT INFORMATION:

Lead agency: County of San Bernardino
Land Use Services Department
385 N. Arrowhead Avenue, 1st Floor
San Bernardino, CA 92415-0182

Contact person: Tom Nieves, Contract Planner
Phone No: (909) 387-5036 **Fax No:** (909) 387-3223
E-mail: Tom.Nieves@lus.sbcounty.gov

PROJECT DESCRIPTION:

Summary

General Plan Amendment to change the land use designation from Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL) and Tentative Tract Map No. 18533 to subdivide approximately 155 acres into fifty-four residential lots, one open space lot and two lettered detention basin lots.

Surrounding Land Uses and Setting

Land uses on the project site and surrounding parcels are governed by the San Bernardino County General Plan/Development Code. The following table lists the existing land uses and zoning districts. The property is zoned Oak Hills/ Resource Conservation (OH/RC) and Oak Hills/Flood Way (OH/FW)). The properties to the north and east are zoned Oak Hills/Rural Living (OH/RL) and consist of single-family detached residences. The property to the west is zoned Resource Conservation (RC) and is vacant. The property to the south is zoned Oak Hills/ Resource Conservation (OH/RC) and Oak Hills/ Floodway (OH/FW) and is also vacant.

| Existing Land Use and Land Use Zoning Districts | | |
|---|--|--------------------------|
| Location | Existing Land Use | Land Use Zoning District |
| Project Site | Vacant | OH/RC; OH/FW |
| North | Single-Family Detached Residential | OH/RL |
| South | Vacant, Open Space | OH/RC; OH/FW |
| East | Single-Family Detached Residential, Vacant | OH/RL |
| West | Vacant, Open Space | RC |

Project Site Location, Existing Site Land Uses and Conditions

The 157.4-acre project site is located on the southwest corner of Whitehaven Street and Braceo Street, in the community of Oak Hills. The proposed project consists of fifty-four (54) single-family residential lots, one (1) approximately 39-acre open space lot and two (2) lettered lots for drainage. The project is located within Oak Hills Community Plan and is zoned Oak Hills/ Resource Conservation (OH/RC) and Oak Hills/Flood Way (OH/FW)). The project site is composed of undulating hills with elevations ranging from approximately 4020 to 4200 feet, MSL.

Figure 1 View Project Location

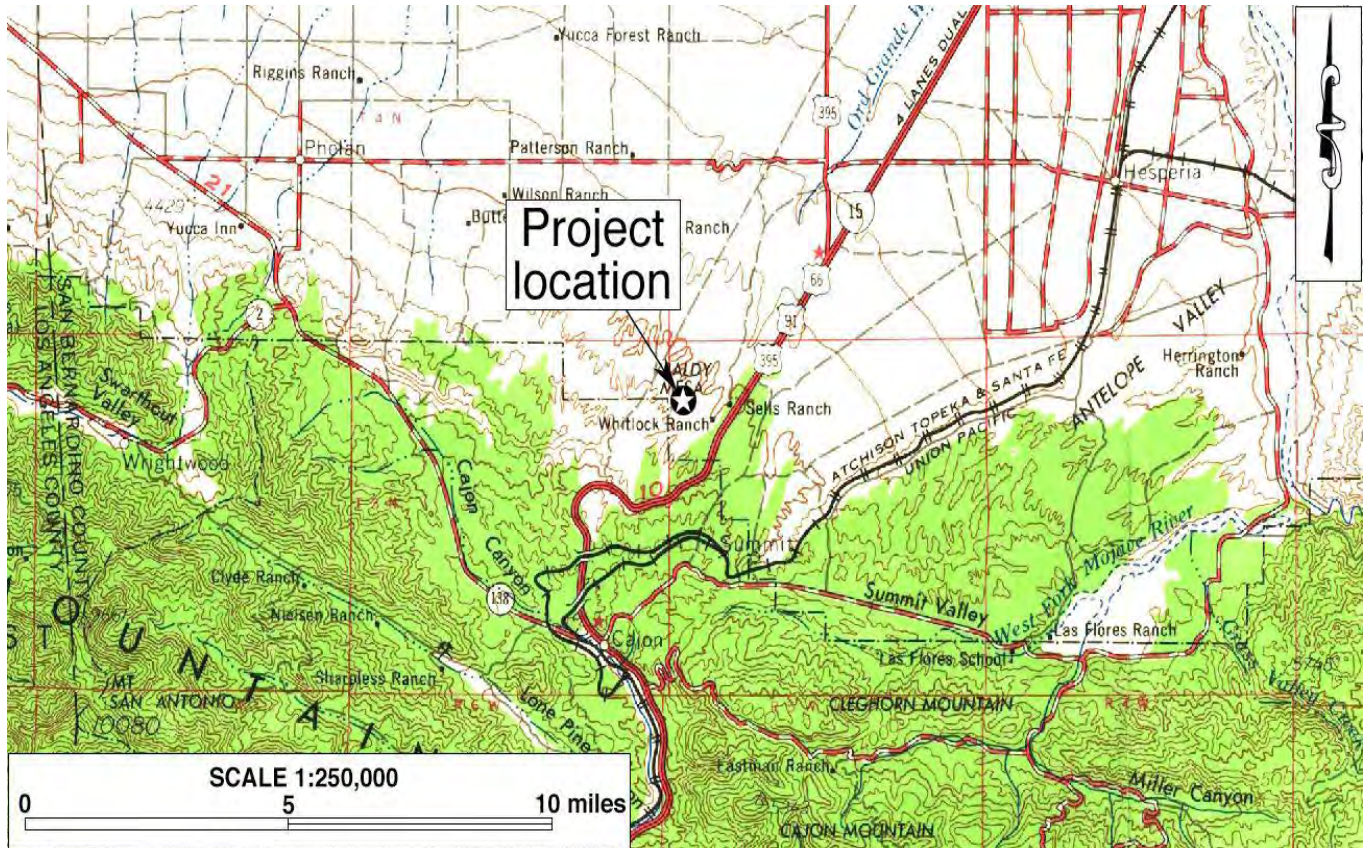
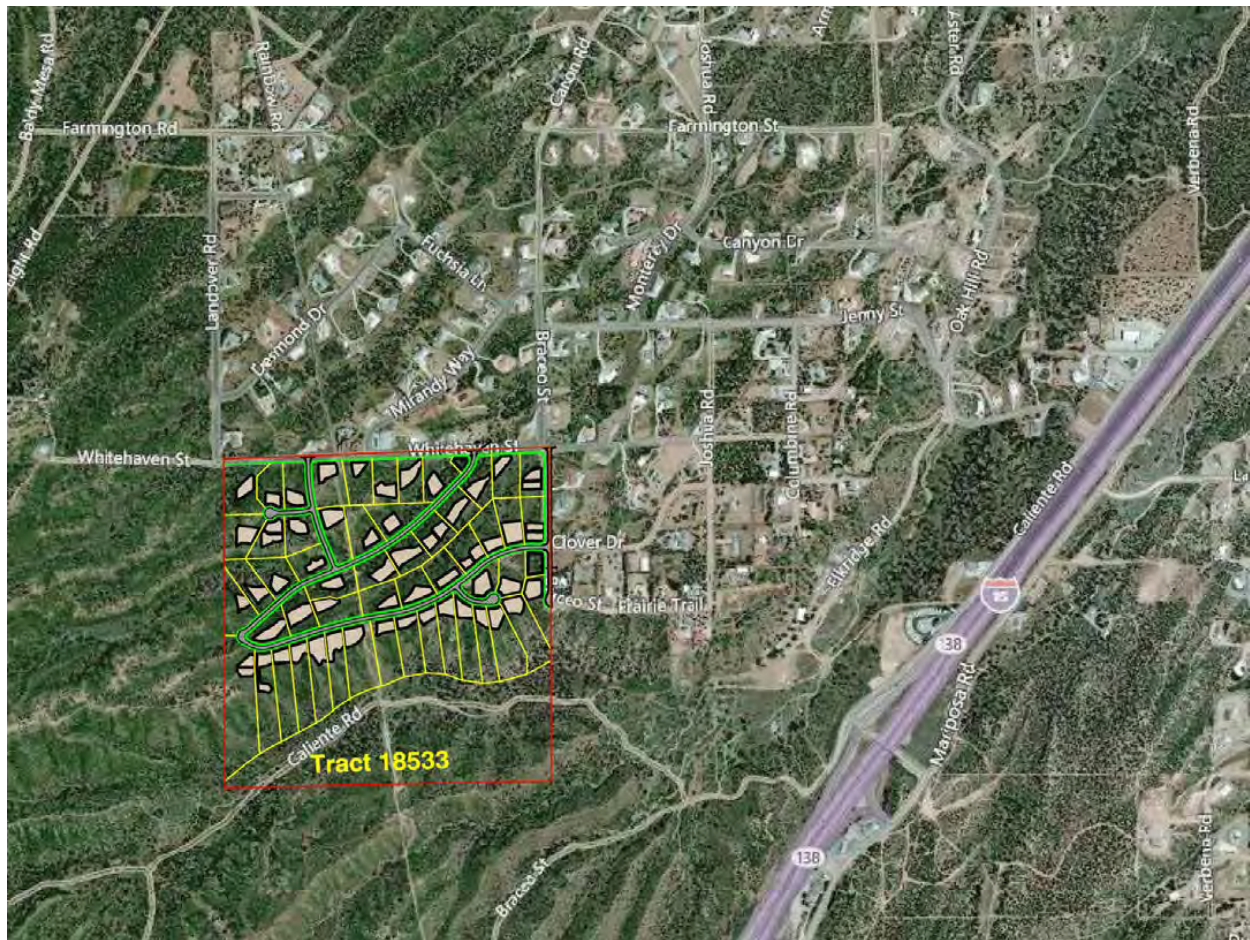


Figure 2 Aerial View of Property, Proposed Open Space Unshaded



Figure 3 Overlay of Tentative Tract Map No. 18533



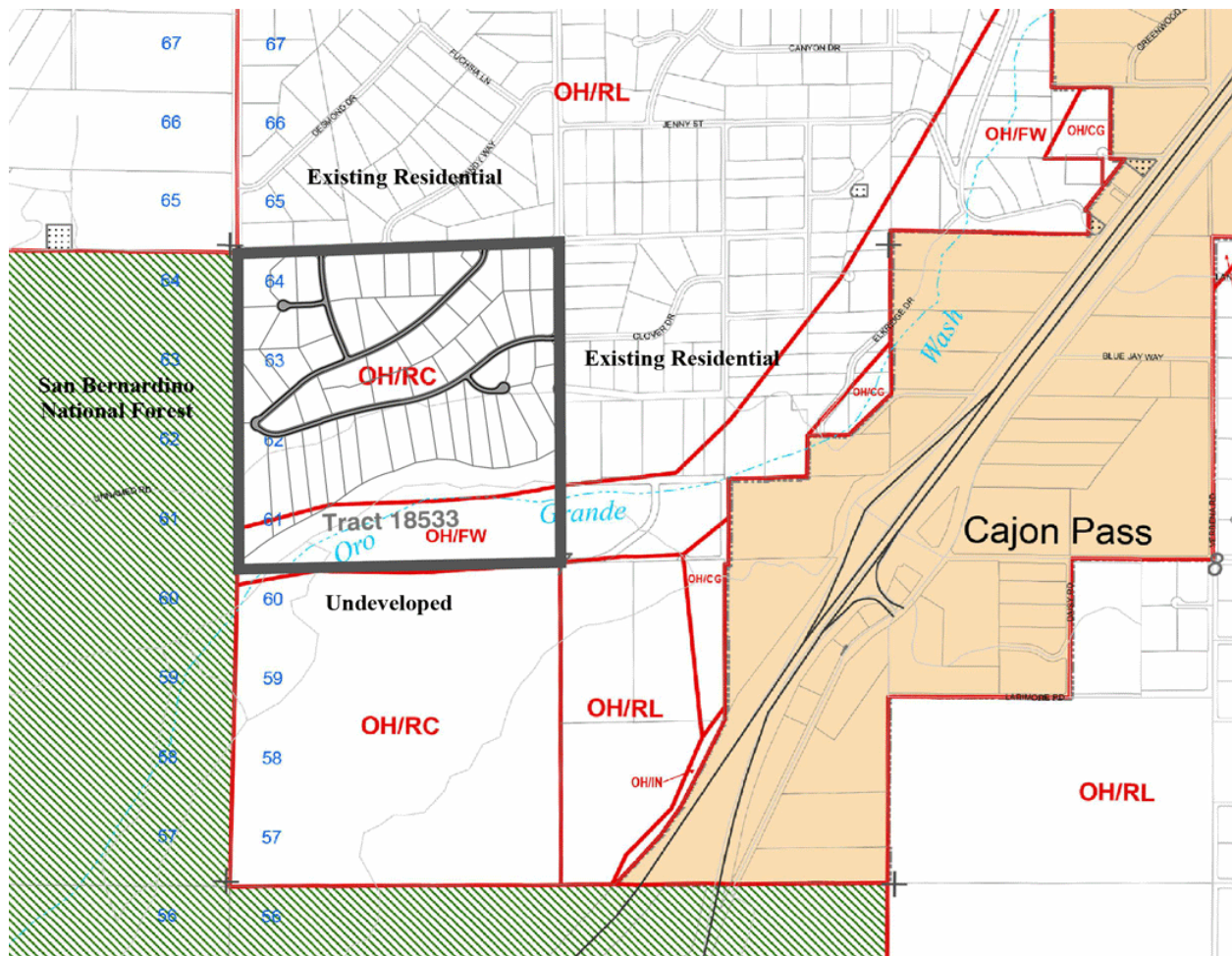


Figure 4 Land Use Designations

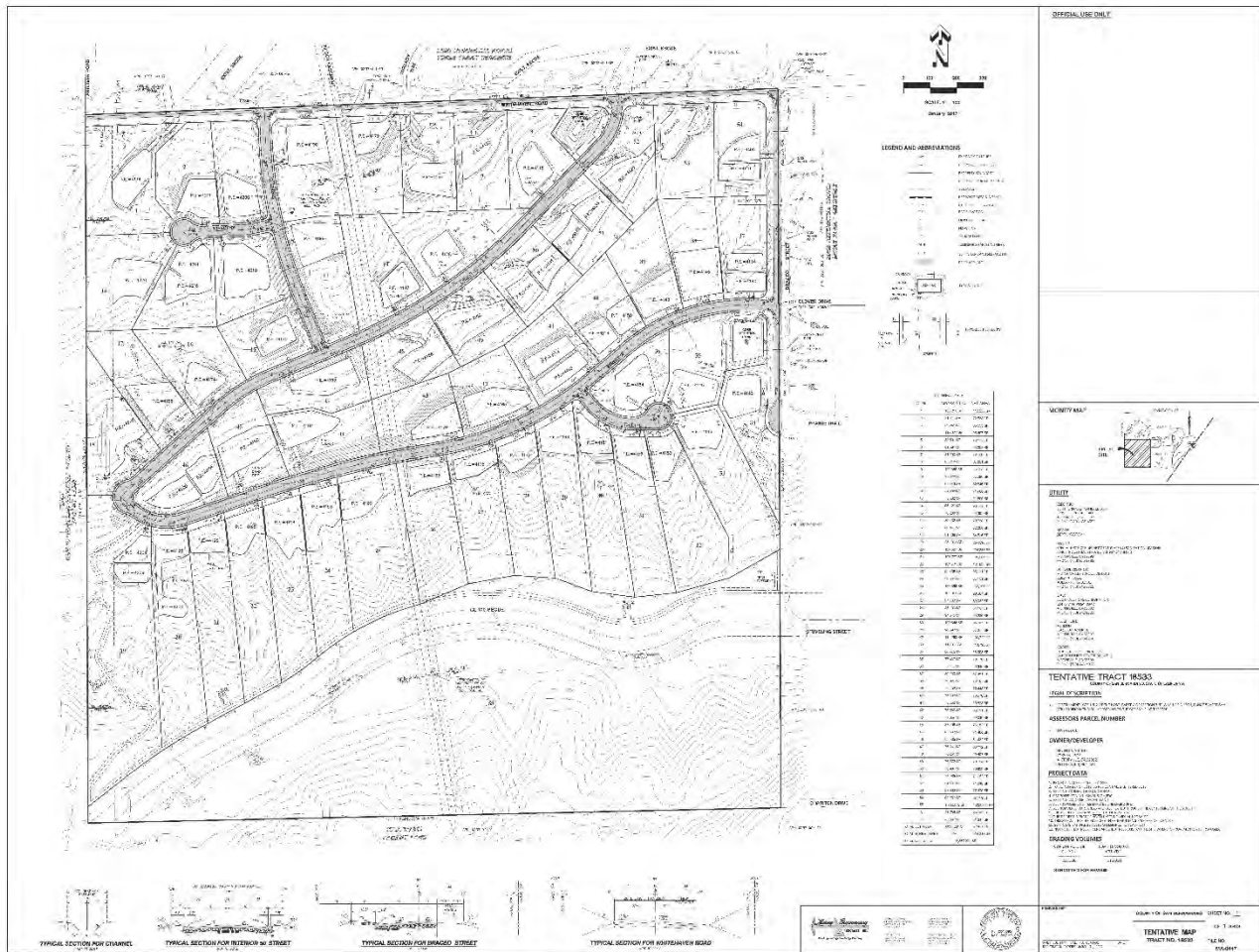


Figure 5 Tentative Tract Map No. 18533



Looking West Along Whitehaven at Northeast Corner of Property



Looking South Along Braceo Street at Northeast Corner of Property



Looking East Along Whitehaven Street at Midpoint of Northern Property Boundary

ADDITIONAL APPROVAL REQUIRED BY OTHER PUBLIC AGENCIES

Other public agencies whose approval may be required (e.g., permits, financing approval, or participation agreement):

Federal: N/A

State of California: CA Fish & Wildlife, Mojave Desert Air Quality Management District (MDAQMD)
County of San Bernardino: Land Use Services – Building and Safety, Traffic, Land Development Engineering – Roads/Drainage; Public Health – Environmental Health Services; Public Works, Surveyor; and County Fire

Local: N/A

CONSULTATION WITH CALIFORNIA NATIVE AMERICAN TRIBES

Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun? The required notification of affected tribes has occurred. The San Manuel Band of Mission Indians (SMBMI) has requested consultation and standard language regarding mitigation of inadvertent discovery of tribal cultural resources including human remains has been provided for future development on the site.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

EVALUATION FORMAT

This Initial Study is prepared in compliance with the California Environmental Quality Act (CEQA) pursuant to Public Resources Code Section 21000, et seq. and the State CEQA Guidelines (California Code of Regulations Section 15000, et seq.). Specifically, the preparation of an Initial Study is guided by Section 15063 of the State CEQA Guidelines. This format of the study is presented as follows. The project is evaluated based on its effect on 20 major categories of environmental factors. Each factor is reviewed by responding to a series of questions regarding the impact of the project on each element of the overall factor. The Initial Study checklist provides a formatted analysis that provides a determination of the effect of the project on the factor and its elements. The effect of the project is categorized into one of the following four categories of possible determinations:

| | | | |
|--------------------------------|--|-----------------------|-----------|
| Potentially Significant Impact | Less than Significant With Mitigation Incorporated | Less than Significant | No Impact |
|--------------------------------|--|-----------------------|-----------|

Substantiation is then provided to justify each determination. One of the four following conclusions is then provided as a summary of the analysis for each of the major environmental factors.

1. **No Impact:** No impacts are identified or anticipated and no mitigation measures are required.
2. **Less than Significant Impact:** No significant adverse impacts are identified or anticipated and no mitigation measures are required.
3. **Less than Significant Impact with Mitigation Incorporated:** Possible significant adverse impacts have been identified or anticipated and the following mitigation measures are required as a condition of project approval to reduce these impacts to a level below significant. The required mitigation measures are: (List of mitigation measures)
4. **Potentially Significant Impact:** Significant adverse impacts have been identified or anticipated. An Environmental Impact Report (EIR) is required to evaluate these impacts, which are (List of the impacts requiring analysis within the EIR).

At the end of the analysis the required mitigation measures are restated and categorized as being either self- monitoring or as requiring a Mitigation Monitoring and Reporting Program.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below will be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

| | | | | | |
|--------------------------|---|-------------------------------------|--|-------------------------------------|--|
| <input type="checkbox"/> | Aesthetics | <input type="checkbox"/> | Agriculture and Forestry Resources | <input type="checkbox"/> | Air Quality |
| <input type="checkbox"/> | Biological Resources | <input checked="" type="checkbox"/> | Cultural Resources | <input type="checkbox"/> | Energy |
| <input type="checkbox"/> | Geology/Soils | <input type="checkbox"/> | Greenhouse Gas Emissions | <input type="checkbox"/> | Hazards & Hazardous Materials |
| <input type="checkbox"/> | Hydrology/Water Quality | <input type="checkbox"/> | Land Use/Planning | <input type="checkbox"/> | Mineral Resources |
| <input type="checkbox"/> | Noise | <input type="checkbox"/> | Population/Housing | <input type="checkbox"/> | Public Services |
| <input type="checkbox"/> | Recreation | <input type="checkbox"/> | Transportation | <input checked="" type="checkbox"/> | Tribal Cultural Resources |
| <input type="checkbox"/> | Utilities/Service Systems | <input type="checkbox"/> | Wildfire | <input type="checkbox"/> | Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation, the following finding is made:

| | |
|-------------------------------------|--|
| <input type="checkbox"/> | The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION shall be prepared. |
| <input checked="" type="checkbox"/> | Although the proposed project could have a significant effect on the environment, there shall not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION shall be prepared. |
| <input type="checkbox"/> | The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required. |
| <input type="checkbox"/> | The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed. |
| <input type="checkbox"/> | Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required. |

Signature: (prepared by Tom Nieves, Contract Planner)

Date

Signature: (Chris Warrick, Supervising Planner)

Date

| Issues | | Potentially Significant Impact | Less than Significant with Mitigation Incorporated | Less than Significant | No Impact |
|--|--|--------------------------------------|--|-------------------------------------|--------------------------|
| I. AESTHETICS – Except as provided in Public Resources Code Section 21099, would the project: | | | | | |
| a) | Have a substantial adverse effect on a scenic vista? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Substantially damage scenic resources, including but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) | In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) | Create a new source of substantial light or glare, which will adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| SUBSTANTIATION: (Check <input type="checkbox"/> if project is located within the view-shed of any Scenic Route listed in the General Plan): San Bernardino General Plan, 2007; Submitted Project Materials | | | | | |

- a) **Less than Significant Impact.** The proposed project is located directly adjacent to existing residential development of similar density to the north and east. There will not be a substantial adverse effect on the existing views of the San Gabriel and San Bernardino Mountains to the south. The project will have a less than significant impact.
- b) **Less Than Significant Impact.** The site is not adjacent to a state scenic highway. There are no protected trees, rock outcroppings, or historic buildings on the project site; therefore, the proposed project would not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings.
- c) **Less Than Significant Impact.** The proposed project would not substantially degrade the existing visual character of the site and its surroundings. The proposed residential use is similar in scale and character as the existing residential uses in the immediate vicinity of the site. The proposed project would have a less than significant impact on the existing visual character and quality of the site and its surroundings.
- d) **Less than Significant Impact.** All proposed development must comply with SBCC Chapter 83.13 Sign Regulations and SBCC§ 83.07.030 “Glare and Outdoor Lighting – Desert Region”, which includes light trespass onto abutting residential properties, shielding, direction, and type. Adherence will result in a less than significant impact.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| | Issues | Potentially Significant Impact | Less than Significant with Mitigation Incorporated | Less than Significant | No Impact |
|------------|---|--------------------------------------|--|--------------------------|-------------------------------------|
| II. | AGRICULTURE AND FORESTRY RESOURCES - In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project: | | | | |
| a) | Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) | Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) | Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) | Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) | Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

SUBSTANTIATION: (Check ☐ if project is located in the Important Farmlands Overlay):
San Bernardino County General Plan, 2007; California Department of Conservation Farmland Mapping and Monitoring Program; Submitted Project Materials

- a) **No Impact.** The California Department of Conservation, Farmland Mapping and Monitoring Program, is responsible with mapping Prime Farmland, Unique Farmland, Farmland of Statewide Importance, and Farmland of Local Importance (Farmland)

across the state. As proposed the project would not convert Farmland to non-agricultural use. There will be no impact.

- b) **No Impact.** The proposed project would not conflict with existing zoning for agricultural use, or a Williamson Act contract. The proposed project area is not under a Williamson Act contract. No impact is expected.
- c) **No Impact.** The proposed project would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. The proposed project area has never been designated as forest land or timberland because the site is within the desert region and does not contain forested lands. There will be no impact.
- d) **No Impact.** The proposed project would not result in the loss of forest land or conversion of forest land to non-forest use. The proposed project site is within the desert region of the county and does not contain forested lands. There will be no impact.
- e) **No Impact.** The proposed project would not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use. There will be no impact.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|--|---|---|-------------------------------------|--------------------------|
| III. AIR QUALITY - Where available, the significance criteria established by the applicable air quality management or air pollution control district might be relied upon to make the following determinations. Would the project: | | | | | |
| a) | Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) | Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) | Result in other emissions (such as those leading to odors adversely affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| SUBSTANTIATION: <i>(Discuss conformity with the Mojave Desert Air Quality Management Plan, if applicable): California Emissions Estimator Model (CalEEMod; Version 2016.3.2); Mojave Desert Air Quality Management District 2017 (MD AQMD); San Bernardino County General Plan, 2007; Submitted Project Materials</i> | | | | | |

- a) **Less than Significant Impact.** A project is consistent with a regional Air Quality Management Plan (AQMP) if it does not exceed the MDAQMD daily threshold or cause a significant impact on air quality, or if the project is already included in the AQMP projection. Emissions with regional effects during project construction, calculated with the CalEEMod; Version 2016.3.2, would not exceed criteria pollutant thresholds established by the Mojave Desert Air Quality Management District (MDAQMD). Compliance with MDAQMD Rules and Regulations during construction would reduce construction-related air quality impacts from fugitive dust emissions and construction equipment emissions. Construction emissions for the proposed project would not exceed the localized significance thresholds (LSTs) at the closest existing residences north of the project site. Project construction will be limited to the grading of individual home building pads, driveway approaches and streets. No mass grading of the site will occur.

Pollutant emissions from project operation, also calculated with CalEEMod, would not exceed the MDAQMD criteria pollutant thresholds. LSTs would not be exceeded by long-term emissions from project operations. Historical air quality data show that existing carbon monoxide (CO) levels for the project area and the general vicinity do not exceed either federal or State ambient air quality standards. The proposed project would not result in substantial increases in CO concentrations at intersections in the project vicinity that would result in the exceedance of federal or State CO concentration standards.

The proposed use is consistent with the County's zoning designation for the project site and its surrounding area, which is consistent with the County's General Plan. The County's General Plan is consistent with the Southern California Association of Governments (SCAG) Regional Comprehensive Plan Guidelines and the MDAQMD Air Quality Management Plan (AQMP). Thus, the proposed project would be consistent with the regional AQMP.

- b) **Less than Significant Impact.** MDAQMD has established daily emissions thresholds for construction and operation of a proposed project in the Basin. The emissions thresholds were established based on the attainment status of the Basin with regard to air quality standards for specific criteria pollutants. Because the concentration standards were set at a level that protects public health within an adequate margin of safety (MDAQMD 2017), these emissions thresholds are regarded as conservative and would overstate an individual project's contribution to health risks.

CEQA significance thresholds for construction and operational emissions established for the Basin are shown in **Table 1** below.

| Emissions Source | Table 1: Pollutant Emissions Threshold (lbs/day) | | | | | |
|---|--|-----------------|---|------------------|-------------------|-----------------|
| | VOC | NO _x | CO | PM ₁₀ | PM _{2.5} | SO _x |
| Construction Activities | 75 | 100 | 550 | 150 | 55 | 150 |
| Operation Activities | 55 | 55 | 550 | 150 | 55 | 150 |
| CO: carbon monoxide lbs/day: pounds per day NO _x : nitrogen oxides PM ₁₀ : particulate matter less than 10 microns in size | | | PM _{2.5} : particulate matter less than 2.5 microns in size MDAQMD: Mojave Desert Air Quality Management District SO _x : sulfur oxides VOC: volatile organic compounds | | | |

Source: MDAQMD Air Quality Significance Thresholds.

Projects in the Basin with construction- or operation-related emissions that exceed any of their respective emission thresholds would be considered significant under MDAQMD guidelines. These thresholds, which MDAQMD developed and that apply throughout the Basin, apply as both project and cumulative thresholds. If a project exceeds these standards, it is considered to have a project-specific and cumulative impact.

c) **Less than Significant Impact.**

Sensitive receptors include residences, schools, hospitals, and similar uses that are sensitive to adverse air quality. The closest residences are within approximately 100 feet from the northern boundary of construction. **Table 2** and **Table 3** below show that the localized significance thresholds for project construction and operational emissions would not be exceeded for the existing residences near the project.

| Emissions Source Construction | Table 2: Construction Localized Impact Analysis (lbs/day) | | | |
|---|--|-----------|------------------------|-------------------------|
| | NO_x | CO | PM₁₀ | PM_{2.5} |
| Construction Emissions | 18.51 | 12.4 | 3.47 | 2.96 |
| Localized Significance Threshold (LST) | 118 | 750 | 4 | 4 |
| Exceeds Threshold? | No | No | No | No |

| Emissions Source Operation | Table 3: Operational Localized Impact Analysis (lbs/day) | | | |
|---|---|-----------|------------------------|-------------------------|
| | NO_x | CO | PM₁₀ | PM_{2.5} |
| Operation Emissions | 8.62 | 4.4 | 0.4 | 0.2 |
| Localized Significance Threshold (LST) | 118 | 750 | 1 | 1 |
| Exceeds Threshold? | No | No | No | No |

- d) **Less than Significant Impact.** Construction: Heavy-duty equipment in the project area during construction would emit odors, primarily from the equipment exhaust. However, the construction activity would cease to occur after construction is completed. No other sources of objectionable odors have been identified for the proposed project, and no mitigation measures are required. The proposed uses are not anticipated to emit any objectionable odors. Therefore, objectionable odors posing a health risk to potential on-site and existing off-site uses would not occur as a result of the proposed project.

Operation: The proposed project could release localized odors. Such odors in general would be confined mainly to the project site and would readily dissipate. Therefore, objectionable odors affecting a substantial number of people would not occur as a result of the project. The impacts associated with odors would be less than significant and no mitigation measures are required.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|---|---|---|----------------------------------|-------------------------------------|
| IV. BIOLOGICAL RESOURCES - Would the project: | | | | | |
| a) | Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) | Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) | Have a substantial adverse effect on state or federally protected wetlands as (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) | Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) | Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan? ☐ ☐ ☐ ☒

SUBSTANTIATION:

(Check if project is located in the Biological Resources Overlay or contains habitat for any species listed in the California Natural Diversity Database ☐): **General Biological Resources Assessment, RCA Associates, LLC, June 2017; San Bernardino County General Plan, 2007 (Appendix B); Submitted Project Materials;**

- a) **No Impact.** County General Plans and development ordinances may include regulations or policies governing biological resources. For example, policies may include tree preservation, locally designated species survey areas, local species of interest, and significant ecological areas. The project site does not have trees or shrubs that could provide nesting habitat for birds; nor does it contain suitable habitat for burrowing owl. The project will not conflict with local policies or ordinances related to biological resources. The project is not within an adopted Habitat Conservation Plan area. The project will not have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service.
- b) **No Impact.** This project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service because no such habitat has been identified or is known to exist on the project site. Oro Grande Wash, located in the southern portion of the project site, is considered a Traditional Navigable Water (TNA). The development plan avoids this area completely and no impact will occur.
- c) **No Impact.** This project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means, because the project is not within an identified protected wetland. Oro Grande Wash, located in the southern portion of the project site, is considered a Traditional Navigable Water (TNA). The development plan avoids this area completely and no impact will occur.
- d) **No Impact.** This project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites, because there are no such corridors or nursery sites within or near the project site. The required building setbacks and maximum lot coverage requirements will allow for sufficient migration through the site.
- e) **No Impact.** The existing vegetation does not include trees or any plant species that are considered rare. This project will not conflict with any local policies or ordinances

protecting biological resources, such as a tree preservation policy or ordinance. There will be no impact.

- f) **No Impact.** This project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan, because no such plan has been adopted in the area of the project site. There will be no impact.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| Issues | | Potentially Significant Impact | Less than Significant with Mitigation Incorporated | Less than Significant | No Impact |
|---|--|--------------------------------|--|--------------------------|-------------------------------------|
| V. CULTURAL RESOURCES - Would the project: | | | | | |
| a) | Cause a substantial adverse change in the significance of a historical resource pursuant to §15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) | Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c) | Disturb any human remains, including those outside of formal cemeteries? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: (Check if the project is located in the Cultural ☐ or Paleontological ☐ Resources overlays or cite results of cultural resource review): **Historical/Archeological Resources Survey Report, CRM Tech, April 2018; San Bernardino County General Plan, 2007; Cultural Historical Resources Information System (CHRIS), South Central Coast Information Center, California State University, Fullerton; Submitted Project Materials**

- a) **No Impact.** In February 2019, the cultural resources records search was conducted for the project area at the South Central Coastal Information Center (SCCIC) located at California State University, Fullerton. It included a review of all recorded historic and prehistoric archaeological sites within one mile of the project, as well as a review of known cultural resource survey and excavation reports. In addition, the California State Historic Property Data File (HPD), which includes the National Register of Historic Places (National Register), California Historical Landmarks (CHL), and California Points of Historical Interest (CPHI), was searched.

Data from the SCCIC indicate that cultural resource studies previously conducted within the project area indicated that no historical/archeological resources had been identified on or adjacent to the project site. Additional studies, outside the project area but within the one-mile scope of the records search, SCCIC records reveal that at least 44 other previous studies on various tracts of land that included more than half of the project area had been prepared.

- b) **Less than Significant Impact with Mitigation.** In February and March of 2019, CRM Tech archeologists conducted intensive surveys of the project site. The property was

surveyed in systematic parallel transects spaced by approximately 15 meters (approximately 50 feet). The purpose of this survey was to identify and document, prior to the beginning of ground-disturbing activities, any cultural resources and thus also to identify any area(s) that might be sensitive for buried cultural resources. The ground surface of the entire project area was carefully examined for any evidence of human activities dating to the prehistoric or historic period. Compliance with mitigation measure **CUL-1** described below, and monitoring recommendations would reduce impacts to archaeological resources to less than significant.

- c) **Less than Significant Impact with Mitigation.** Compliance with mitigation measure **CUL-2** described below, and monitoring recommendations would reduce impacts to the inadvertent discovery of human remains to less than significant.

Mitigation Measures:

CUL 1: In the event that archaeological materials are encountered during construction, all construction work should be halted and a qualified archaeologist consulted to determine the appropriate treatment of the discovery (California Code of Regulations, Title 14, Chapter 3, Section 15064.5(f)). Work on the other portions of the project outside of the buffered area may continue during this assessment period. Additionally, the San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed within **TCR-1 and TCR-2**, regarding any pre-contact/contact-era/historic finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.

If significant cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to SMBMI for review and comment, as detailed within TCR-1. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.

Monitoring: Monitoring of earthmoving activities by a qualified archaeologist and/or tribal monitor (including initial grubbing and vegetation removal) is recommended to mitigate potential impacts to undocumented archaeological resources.

CUL 2: In the event human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be Native American, the County Coroner will notify the NAHC, which will determine and notify an MLD. With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD will have the opportunity to offer recommendations for the disposition of the remains.

Monitoring: Monitoring of earthmoving activities by a qualified archaeologist and/or tribal monitor (including initial grubbing and vegetation removal) is recommended to mitigate potential impacts to undiscovered human remains.

Therefore, potential impacts are identified or anticipated and mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|--|---|---|-------------------------------------|--------------------------|
| VI. ENERGY – Would the project: | | | | | |
| a) | Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Conflict with or obstruct a state or local plan for renewable energy or energy efficiency? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: *San Bernardino County General Plan, 2007; Renewable Energy and Conservation Element of the General Plan 2017; California Energy Commission Title 24*

- a) **Less than Significant Impact.** Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday in accordance with the County of San Bernardino Development Code standards. No construction activities are permitted outside of these hours or on Sundays and Federal holidays. The proposed project will be conditioned to comply with GHG operational standards during temporary construction. Adherence would ensure that there would not be a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation.
- b) **Less than Significant Impact.** The County of San Bernardino adopted a Renewable Energy and Conservation Element (RECE) as part of the County's General Plan August 8, 2017. The proposed project would be required to meet Title 24 Energy Efficiency requirements. Adherence would ensure that the project would not conflict with or obstruct the recently adopted RECE or any other state or local plan for renewable energy or energy efficiency.

Therefore, no impacts are identified or anticipated and no mitigation measures are required.

| Issues | Potentially Significant Impact | Less than Significant with Mitigation Incorporated | Less than Significant | No Impact |
|--|--------------------------------|--|-------------------------------------|--------------------------|
| VII. GEOLOGY AND SOILS - Would the project: | | | | |
| a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving: | | | | |
| i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map Issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| ii. Strong seismic ground shaking? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| iii. Seismic-related ground failure, including liquefaction? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| iv. Landslides? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Result in substantial soil erosion or the loss of topsoil? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off site landslide, lateral spreading, subsidence, liquefaction or collapse? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: (Check ☐ if project is located in the Geologic Hazards Overlay District): **San Bernardino County General Plan, 2007; Submitted Project Materials; California Building Code; Public Resources Code;**

- a) i) **Less than Significant Impact.** The project site is not located within an official earthquake fault zone or within a quarter of a mile of a mapped fault however, all of

Southern California is subject to major earthquake activity. In terms of proximity to an active fault the impact can be considered less than significant.

ii) **Less than Significant Impact.** The subject property is within an area that is subject to severe ground shaking as is most of Southern California. Adherence to California Building Code Seismic Design Standards, Chapter 16: *Structural Design* help to assure a less than significant impact.

iii) **Less than Significant Impact.** The project site is not located in an area of high liquefaction susceptibility however, adherence to California Building Code Seismic Design Standards, Chapter 16: *Structural Design* would further assure a less than significant impact due to liquefaction.

iv) **Less than Significant Impact.** The project site is in a hillside area of the desert that could have the potential to slide during a ground disturbing event such as an earthquake. There would be less than significant impact.

- b) **Less than Significant Impact.** The near surface sandy soils may be subject to water erosion. Positive drainage should be provided around the perimeter of all structures and all foundations toward streets or approved drainage devices to minimize water infiltrating into the underlying natural and engineered fill soils. Erosion control plans and grading plans will be required to be submitted, approved, and implemented for the proposed development. A less than significant impact is expected.
- c) **Less than Significant Impact.** The project is not identified as being located on a geologic unit or soil that has been identified as being unstable or having the potential to result in on- or off- site landslide, lateral spreading, subsidence, liquefaction, or collapse. Impacts would thus be less than significant.
- d) **Less than Significant Impact.** The project site is not located in an area that has been identified by the County Building and Safety Geologist as having the potential for expansive soils. The impact would be less than significant.
- e) **Less than Significant Impact.** The project site has soils capable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater. The County Environmental Health Services Department will require a percolation test prior to onsite wastewater treatment system installation. Therefore, no significant adverse impacts expected.

No significant impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|---|---|---|-------------------------------------|-------------------------------------|
| VIII. GREENHOUSE GAS EMISSIONS – Would the project: | | | | | |
| a) | Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

SUBSTANTIATION: California Emissions Estimator Model (CalEEMod; Version 2016.3.2); Mojave Desert Air Quality Management District 2017 (MDAQMD); San Bernardino County General Plan, 2007;

- a) **Less than Significant Impact.** Construction and operation of the proposed project would generate Greenhouse Gas (GHG) emissions, with the majority of energy consumption (and associated generation of GHG emissions) occurring during the project's operation. Typically, more than 80 percent of the total energy consumption takes place during the use of buildings and less than 20 percent of energy is consumed during construction. The following activities associated with the proposed project could directly or indirectly contribute to the generation of GHG emissions.

Construction Activities: During construction of the project, GHGs would be emitted through the operation of construction equipment and from worker and vendor vehicles, each of which typically uses fossil-based fuels to operate. The combustion of fossil-based fuels creates GHGs (e.g., CO₂, CH₄, and N₂O). Furthermore, CH₄ is emitted during the fueling of heavy equipment. Project construction will be limited to the grading of individual home building pads, driveway approaches and streets. No mass grading of the site will occur. Construction of custom homes would occur over time and further reduce impacts.

Gas, Electricity, and Water Use: Natural gas use results in the emission of two GHGs: CH₄ (the major component of natural gas) and CO₂ (from the combustion of natural gas). Electricity use can result in GHG production if the electricity is generated by combusting fossil fuel. California's water conveyance system is energy-intensive. Water-related electricity use is 48 terawatt hours per year and accounts for nearly 20 percent of California's total electricity consumption.

Solid Waste Disposal: Solid waste generated by the project could contribute to GHG emissions in a variety of ways. Landfilling and other methods of disposal use energy for transporting and managing the waste, and they produce additional GHGs to varying degrees. Landfilling, the most common waste management practice, results in the release of CH₄ from the anaerobic decomposition of organic materials. CH₄ is 28 times more potent a GHG than CO₂. However, landfill CH₄ can also be a source of energy. In addition, many materials in landfills do not decompose fully and the carbon that remains is sequestered in the landfill and not released into the atmosphere.

Motor Vehicle Use: Transportation associated with the proposed project would result in GHG emissions from the combustion of fossil fuels in daily automobile and truck trips.

GHG emissions related to temporary construction activities are detailed in **Table 4** below.

| Construction Phase | Table 4: GHG Emissions: Total Temporary Construction Emissions | | | Total Emissions per Phase (MT CO ₂ e/year) |
|---|--|-----------------|------------------|---|
| | CO ₂ | CH ₄ | N ₂ O | |
| Site Preparation | 1.73 | 0.0001 | 0 | 1.75 |
| Grading | 4.67 | 0.0002 | 0 | 4.71 |
| Building Construction | 71.73 | 0.0167 | 0 | 72.46 |
| Paving | 4.61 | 0.0007 | 0 | 4.69 |
| Architectural Coatings | 1.11 | 0.0001 | 0 | 1.11 |
| Total Emissions for Entire Construction Process | | | | 84.72 |
| Total Construction Emissions Amortized over 30 years | | | | 2.82 |

Operational Activities: Mobile source emissions of GHGs would include project-generated vehicle trips associated with typical residential average daily trips. Area source emissions would be associated with activities including landscaping and maintenance of proposed land uses, natural gas for heating, and other sources. Increases in stationary source emissions would also occur at off-site utility providers as a result of demand for electricity, natural gas, and water by the proposed project. As shown in **Table 5**, the project will result in GHG emissions of 2,232 MT CO₂e/yr, which is lower than the County DRP review standard of 3,000 MT CO₂e/yr.

Long-term operational greenhouse Gas Emissions are represented in **Table 5** below.

| Source | Table 5: Pollutant Emissions (MT/yr) | | | | | |
|---|--------------------------------------|----------------------|-----------------------|-----------------|------------------|-------------------|
| | Bio-CO ₂ | NBio-CO ₂ | Total CO ₂ | CH ₄ | N ₂ O | CO ₂ e |
| Area | 0 | <0.01 | <0.01 | 0 | 0 | <0.01 |
| Energy | 0 | 53.02 | 53.02 | <0.01 | <0.01 | 53.08 |
| Mobile | 0 | 2,157.70 | 2,157.70 | 0.15 | 0 | 2,161.80 |
| Waste | 4.32 | 0 | 4.32 | 0.20 | 0 | 9.32 |
| Water | 0.41 | 6.04 | 6.45 | 0.03 | <0.01 | 7.97 |
| Total Project Emissions | 4.73 | 2,216.76 | 2,221.49 | 0.38 | 0 | 2,232.17 |
| Bio-CO ₂ : biologically generated CO ₂ CH ₄ = MT/yr: metric tons per year CO ₂ : carbon dioxide N ₂ O: nitrous oxide CO ₂ e: carbon dioxide equivalent NBio-CO ₂ : non-biologically generated CO ₂ MDAQMD: Mojave Desert Air Quality Management District | | | | | | |

- b) **No Impact.** A project's incremental contribution to a cumulative GHG effect is not cumulatively considerable if the project complies with the requirements in a previously adopted plan or mitigation program under specified circumstances. In 2011, the County adopted the GHG Emissions Reduction Plan, and in 2016, the County adopted the GHG DRP. The GHG Emissions Reduction Plan qualifies as a plan for the reduction of GHG emissions pursuant to the State CEQA Guidelines, and the DRP is a guideline for the GHG Emissions Reduction Plan. The DRP identifies local GHG performance standards that need to be applied to the project. The proposed project incorporates all performance standards as design features. **Table 6** below details the project design features that are necessary to ensure consistency with applicable local reduction measures of the GHG Emissions Reduction Plan. With implementation of these project design features, the project would be consistent with the GHG Emissions Reduction Plan. Therefore, through consistency with a qualified Climate Action Plan (CAP), the project would generate GHG emissions that would have a less significant impact.

| Table 6 County of San Bernardino GHG Emissions Reduction Plan and Development Review Process Consistency Analysis | |
|--|--|
| Performance Standard | Consistency Analysis |
| Energy | |
| <p>3.a) Meet Title 24 Energy Efficiency requirements implemented July 1, 2014. The Developer shall document that the design of the proposed structures meets the current Title 24 energy-efficiency requirements. County Planning shall coordinate this review with the County Building and Safety. Any combination of the following design features may be used to fulfill this requirement, provided that the total increase in efficiency meets or exceeds the cumulative goal (100%+ of Title 24) for the entire project (Title 24, Part 6 of the California Code of Regulations; Energy Efficiency Standards for Residential and Non Residential Buildings, as amended January 24, 2013; Cool Roof Coatings performance standards as amended January 24, 2013):</p> <ul style="list-style-type: none"> • Incorporate dual-paned or other energy-efficient windows, • Incorporate energy-efficient space heating and cooling equipment, • Incorporate energy-efficient light fixtures, photocells, and motion detectors, • Incorporate energy-efficient appliances, • Incorporate energy-efficient domestic hot water systems, • Incorporate solar panels into the electrical system, • Incorporate cool roofs/light colored roofing, • Incorporate other measures that will increase energy efficiency, • Increase insulation to reduce heat transfer and thermal bridging, | <p>Consistent. The proposed project would comply with the requirements of the 2016 California Building Energy Efficiency Standards (Title 24, Part 6), which is more stringent than the 2014 Title 24 as specified in the GHG Emissions Reduction Plan. The requirements include measures to incorporate energy-efficient building design features detailed in Subchapter 3 (Residential Mandatory Requirements), Section 120.7 (Mandatory Insulation Requirements) and Section 120.8 (Residential Building Commissioning).</p> |

| | |
|--|---|
| <ul style="list-style-type: none"> Limit air leakage throughout the structure and within the heating and cooling distribution system to minimize energy consumption. | |
| <p>3.c) Lighting. Lighting design for building interiors shall support the use of:</p> <ul style="list-style-type: none"> Compact fluorescent light bulbs or equivalently efficient lighting. Natural day lighting through site orientation and the use of reflected light. Skylight/roof window systems. Light colored building materials and finishes shall be used to reflect natural and artificial light with greater efficiency and less glare. A multi-zone programmable dimming system shall be used to control lighting to maximize the energy efficiency of lighting requirements at various times of the day. Provide a minimum of 2.5 percent of the project's electricity needs by on-site solar panels. | |
| <p>3.d) Building Design. Building design and construction shall incorporate the following elements:</p> <ul style="list-style-type: none"> Orient building locations to best utilize natural cooling/heating with respect to the sun and prevailing winds/natural convection to take advantage of shade, day lighting and natural cooling opportunities. Utilize natural, low maintenance building materials that do not require finishes and regular maintenance. Roofing materials shall have a solar reflectance index of 78 or greater. All supply duct work shall be sealed and leak-tested. Oval or round ducts shall be used for at least 75 percent of the supply duct work, excluding risers. Energy Star or equivalent appliances shall be installed. A building automation system including outdoor temperature/humidity sensors will control public area heating, vent, and air conditioning units. | |
| Water | |
| <p>3.b) Plumbing. All plumbing shall incorporate the following:</p> <ul style="list-style-type: none"> All showerheads, lavatory faucets, and sink faucets shall comply with the California Energy Conservation flow rate standards. | <p>Consistent. The proposed project will install water-efficient irrigation systems and devices, low-flow plumbing fixtures, and drought-tolerant landscaping.</p> |

| | |
|---|---|
| <ul style="list-style-type: none"> • Low flush toilets shall be installed where applicable as specified in California State Health and Safety Code Section 17921.3. • All hot water piping and storage tanks shall be insulated. Energy efficient boilers shall be used. | |
| <p>3.f) Irrigation. The developer shall submit irrigation plans that are designed, so that all common area irrigation areas shall be capable of being operated by a computerized irrigation system, which includes either an on-site weather station, ET gauge or ET-based controller capable of reading current weather data and making automatic adjustments to independent run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. These features will assist in conserving water, eliminating the potential of slope failure due to mainline breaks and eliminating over-watering and flooding due to pipe and/or head breaks.</p> | |
| <p>Solid Waste</p> | |
| <p>1.a) Waste Stream Reduction. The developer shall provide to all tenants and project employees County-approved informational materials about methods and need to reduce the solid waste stream and listing available recycling services.</p> | <p>Consistent. The proposed project will comply with California Green Building Standards Code requirements. At least 50 percent of all nonhazardous construction waste generated by the proposed project (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard) will be recycled and/or salvaged.</p> |
| <p>3.g) Recycling. Exterior storage areas for recyclables and green waste shall be provided. Where recycling pickup is available, adequate recycling containers shall be located in public areas. Construction and operation waste shall be collected for reuse and recycling.</p> | |
| <p>Transportation</p> | |
| <p>1.b) Vehicle Trip Reduction. The developer shall provide to all tenants and project employees County-approved informational materials about the need to reduce vehicle trips and the program elements this project is implementing. Such elements may include: participation in established ride-sharing programs, creating a new ride-share employee vanpool, designating preferred parking spaces for ride-sharing vehicles, designating adequate passenger loading and unloading for ride-sharing vehicles with benches in waiting areas, and/or providing a web site or message board for coordinating rides.</p> | <p>Consistent. The proposed project will provide commute trip reduction</p> |

| Area Source | |
|--|---|
| 1.d) Landscape Equipment. The developer shall require in the landscape maintenance contract and/or in onsite procedures that a minimum of 20% of the landscape maintenance equipment shall be electric-powered. 3.e) Landscaping. The developer shall submit for review and obtain approval from County Planning of landscape and irrigation plans that are designed to include drought tolerant and smog tolerant trees, shrubs, and groundcover to ensure the long-term viability and to conserve water and energy. The landscape plans shall include shade trees around main buildings, particularly along southern and western elevations, where practical. | Consistent. The proposed project will provide drought-tolerant landscaping, and use electric-powered landscape maintenance equipment where possible. |
| Education | |
| 1.c) Provide Educational Materials. The developer shall provide to all tenants and staff education materials and other publicity about reducing waste and available recycling services. The education and publicity materials/program shall be submitted to County Planning for review and approval. The developer shall also provide to all residents current transit route information for the project area in a visible and convenient location for employees and customers. | Consistent. The proposed project will provide transit routes materials to residents. |

Source: County of San Bernardino Greenhouse Gas Emissions Reduction Plan. Adopted September 2011.
 County of San Bernardino Greenhouse Gas Emissions Development Review Processes. Updated March 2015.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| Issues | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|---|---|-------------------------------------|-------------------------------------|
| IX. HAZARDS AND HAZARDOUS MATERIALS – Would the project: | | | | |
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, will the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: Environmental Hazards Report, Property I.D. March 15, 2018; San Bernardino County General Plan, 2007

- a) **Less than Significant Impact.** The project would have a less than significant impact to the public or the environment through the routine transport, use, or disposal of hazardous materials. All such uses proposed on-site in the will be subject to permit and inspection by the Hazardous Materials Division of the County Fire Department and in some instances additional land use review.
- b) **Less than Significant Impact.** The project would have a less than significant impact to the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The use and storage of all hazardous materials is subject to permit and inspection by the Hazardous Materials Division of the County Fire Department.
- c) **Less than Significant Impact.** Emissions and handling of hazardous or acutely hazardous materials, or substances, would have a less than significant impact on any existing or proposed schools that are within a quarter mile from the project site. The nearest school is approximately 3.50 miles Northeast of the project site.
- d) **No Impact.** The project site is not included on the San Bernardino County list of hazardous materials sites compiled pursuant to Government Code 65962.5 and therefore, will not create a significant hazard to the public or environment.
- e) **Less than Significant Impact.** The project site is not located within 2 miles of an FAA approved landing facility. The property would not be subject to some of the annoyances or inconveniences associated with proximity to airport operations, such as noise, vibration, or odors.
- f) **No Impact.** The project site is not within the vicinity or approach/departure flight path of a private airstrip. Therefore there will be no impact.
- g) **Less than Significant Impact.** The project will not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan,

because the project has adequate access from two or more directions. The project site is within a Fire Safety 1 (FS-1) Overlay district. A Fuel Modification Plan has been prepared for review, approval and implementation.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|---|---|---|-------------------------------------|-------------------------------------|
| X. HYDROLOGY AND WATER QUALITY - Would the project: | | | | | |
| a) | Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) | Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would: | | | | |
| | i. result in substantial erosion or siltation on- or off-site; | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | ii. substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or offsite; | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | iii. create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of runoff; or | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | iv. impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) | In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) | Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| SUBSTANTIATION: | | <i>Preliminary Water Quality Management Plan,; San Bernardino County General Plan, 2007; Submitted Project Materials</i> | | | |

- a) **Less than Significant Impact.** The project will not violate any water quality standards or waste discharge requirements because the on-site waste water treatment systems must be approved by the County Environmental Health Services based on requirements by the Lahontan Region Water Quality Control Board.
- b) **Less than Significant Impact..** The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level.
- c) **Less than Significant Impact. a.**
 - i. Based on the Project Specific Water Quality Management Plan (PWQMP), and Hydrology Report both prepared by Ludwig Engineering, implementation of the proposed drainage improvements for the site would not result in substantial erosion or siltation on- or off-site.
 - ii. Although impervious surfaces will be added to the site, implementation of the proposed drainage improvements as outlined in the PWQMP and Hydrology Report would reduce impacts due to increased surface runoff and would not result in flooding on or offsite
 - iii. The proposed project would not create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of runoff; based on the findings of the PWQMP and Hydrology Report prepared by Ludwig Engineering.
 - iv. The proposed design will not impede or redirect flood flows. Proposed alterations to the existing drainage pattern of the site will benefit current and future developments in the area. No streams or rivers have been identified onsite. LID/BMPs will provide direction of surface runoff in a manner which would prevent flooding on or off-site.
- d) **No Impact.** The project will not substantially alter any existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off-site because the project does not propose any alteration to a drainage pattern, stream or river. The project site will not be mass graded. Individual building pads will be designed and constructed on each lot. Individual grading plans, drainage plans and compliance with WQMP measures will be reviewed and approved by the County.
- e) **No Impact.** The proposed development will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan. Implementation of WQMP measures will comply with County and State requirements and all necessary improvements to efficiently supply domestic water will be implemented.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|--|---|---|-------------------------------------|-------------------------------------|
| XI. LAND USE AND PLANNING - Would the project: | | | | | |
| a) | Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) | Cause a significant environmental impact due to a conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: San Bernardino County General Plan, 2007; Submitted Project Materials

- a) **No Impact.** The project will not physically divide an established community, because the project is a logical and orderly extension of the planned land uses and development that are established within the surrounding area.
- b) **Less Than Significant Impact.** The project proposes to amend the General Plan Land Use Designation. Should the amendment be approved, the conflict will be removed. There will be no conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project adopted for the purpose of avoiding or mitigating an environmental effect because the project is consistent with all applicable land use policies and regulations of the County Development Code, and General Plan. The project complies with all hazard protection, resource preservation, and land-use-modifying Overlay District regulations, including the Fire Safety 1 (FS-1) Overlay District.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|--|---|---|-------------------------------------|--------------------------|
| XII. MINERAL RESOURCES - Would the project: | | | | | |
| a) | Result in the loss of availability of a known mineral resource that will be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: (Check ☐ if project is located within the Mineral Resource Zone Overlay): **San Bernardino County General Plan, 2007; Submitted**

**Project Materials; California Department of Conservation:
 Mineral Land Classification Maps**

- a) **Less than Significant Impact.** The project will not result in the loss of availability of a known mineral resource that will be of value to the region and the residents of the state.
- b) **Less than Significant Impact.** The proposed project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|---|---|-------------------------------------|-------------------------------------|
| XIII. NOISE - Would the project result in: | | | | |
| a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Generation of excessive groundborne vibration or groundborne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| SUBSTANTIATION: (Check if the project is located in the Noise Hazard Overlay District <input type="checkbox"/> or is subject to severe noise levels according to the General Plan Noise Element <input type="checkbox"/>): San Bernardino County General Plan, 2007; Submitted Project Materials | | | | |

- a) **Less than Significant Impact.** The proposed single-family detached residential development will not result in the generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.
- b) **Less than Significant Impact.** The project will not create exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels. The project is required to comply with the vibration standards of the County Development Code. No vibration exceeding these standards is anticipated to be generated by the proposed uses.

- c) **No Impact.** The proposed project is not in the vicinity of a private airstrip or an airport land use plan, or within two miles of a public airport or public use airport. There will be no impact.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|--|---|---|-------------------------------------|-------------------------------------|
| XIV. POPULATION AND HOUSING - Would the project: | | | | | |
| a) | Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

SUBSTANTIATION: *San Bernardino County General Plan, 2007; Submitted Project Materials.*

- a) **Less than Significant Impact.** The project will not induce substantial population growth in an area either directly or indirectly. While the project is an extension of existing residential development with new homes, roads and utility extensions, the project could not induce *substantial* unplanned population growth, due to the fact that the project abuts the National Forest, prohibiting additional future population growth or the development of new homes or roads.
- b) **No Impact.** The proposed use will not displace any housing units, necessitating the construction of replacement housing because no housing units are proposed to be demolished as a result of this proposal.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|---|---|-------------------------------------|--------------------------|
| XV. PUBLIC SERVICES | | | | |
| a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services: | | | | |
| Fire Protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Police Protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Parks? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Public Facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: San Bernardino County General Plan, 2007; Submitted Project Materials

- a) **Less than Significant Impact.** The proposed project will not result substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services, including fire and police protection, schools, parks, or other public facilities. The project shall implement a Fuel Modification Plan pursuant to Fire Safety 1 (FS-1) Overlay District requirements so as to mitigate fire potential.

The proposed development will increase property tax revenues to provide a source of funding that is sufficient to offset any increases in the anticipated demands for public services generated by this project.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|------------------------|--|---|---|-------------------------------------|--------------------------|
| XVI. RECREATION | | | | | |
| a) | Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility will occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: San Bernardino County General Plan, 2007; Submitted Project Materials

- a) **Less than Significant Impact.** The lot sizes proposed by the project are sufficiently large to accommodate private recreational activities, thus the project will not significantly increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated.
- b) **Less than Significant Impact.** This project does not include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment, because the type of project proposed will not result in an increased demand for recreational facilities.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|---|---|---|-------------------------------------|-------------------------------------|
| XVII. TRANSPORTATION – Would the project: | | | | | |
| a) | Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) | Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3 subdivision (b)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) | Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) | Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: Traffic Impact Study, DKS Associates; San Bernardino County General Plan, 2007; Submitted Project Materials

- a) **No Impact.** The future development may cause an increase in traffic. Local roads are currently operating at a level of service at or above the standard established by the County General Plan. The developer will be required to pay development impact fees as well as pay for construction of local roads to serve the project site. The project will not conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities.
- b) **Less than Significant Impact with Mitigation.** According to the Traffic Study prepared for the project, the existing plus project conditions at all of the study intersections are anticipated to operate at acceptable level of service (LOS) utilizing the existing and proposed intersection geometrics. County Public Works – Traffic Division has reviewed the traffic generation of the proposed project and anticipates that traffic service will remain at an LOS of “B” at the intersection of Whitehaven Street and Bracero Street during AM and PM peak hours.
- c) **No Impact.** The project will not substantially increase hazards due to a design feature or incompatible uses because the project site is adjacent to an established road that is accessed at points with good site distance and properly controlled intersections. There are no incompatible uses proposed by the project that will impact surrounding land uses.
- d) **Less than Significant Impact.** The proposed project will provide three fully-improved points of access to the project site. The project will not result in inadequate access for emergency purposes.

| <i>Issues</i> | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
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XVIII. TRIBAL CULTURAL RESOURCES

- a) Would the Project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or

| | | | |
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| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
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 - ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall

| | | | |
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| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
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consider the significance of the resource to a California Native American tribe?

SUBSTANTIATION: Historical/Archeological Resources Survey Report, CRM TECH, April 2018; San Bernardino County General Plan, 2007; Cultural Historical Resources Information System (CHRIS), South Central Coast Information Center, California State University, Fullerton

Assembly Bill (AB) 52 took effect on July 1, 2015. AB 52 requires a lead agency to make best efforts to avoid, preserve, and protect tribal cultural resources.

Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Public Resources Code section 21082.3(c) also contains provisions specific to confidentiality.

Prior to the release of the CEQA document for a project, AB 52 requires the lead agency to initiate consultation with a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project if: (1) the California Native American tribe requested the lead agency, in writing, to be informed by the lead agency through formal notification of proposed project in the geographic area that is traditionally and through formal notification of proposed projects in the geographic area that is traditionally and culturally affiliated with the tribe, and (2) the California Native American tribe responds, in writing, within 30 days of receipt of the formal notification, and requests the consultation.

Tribal consultation request letters were sent to the San Manuel Band of Mission Indians, Morongo Band of Mission Indians, Colorado River Indian Tribes, Serrano Nation of Mission Indians, and the Soboba Band of Luiseno Indians. The San Manuel tribe requested consultation. The Morongo tribe deferred to the San Manuel tribe. Consultation with the San Manuel Tribe is on-going. Language has been included as mitigation for the inadvertent discovery of tribal cultural resources.

- a) **Less than Significant Impact with Mitigation.** A records search conducted in coordination with the Cultural Resources Assessment prepared by CRM TECH found that there were no listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k) within the project site. Adherence to mitigation measures TCR-1 and TCR-2 will reduce any impacts to tribal cultural resources to a less than significant level.
- b) **Less than Significant Impact with Mitigation.** The project proponent shall consider the significance of any possible resource to a California Native American tribe. With required mitigation and/or monitoring requested by tribes with ancestral interest in the project area, the impact will be reduced to a less than significant level.

Tribal comments received include protocol, and procedures in the event human remains or other cultural resources are discovered once the properties are sold and

subsequently developed. These comments will be incorporated into the projects final conditions of approval.

Mitigation Measures

TCR-1: The San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed in CR-1, of any pre-contact/contact-era/historic cultural resources discovered during project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with SMBMI, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents SMBMI for the remainder of the project, should SMBMI elect to place a monitor on-site.

TCR-2: Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to SMBMI. The Lead Agency and/or applicant shall, in good faith, consult with SMBMI throughout the life of the project.

| <i>Issues</i> | | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|--|---|---|---|-------------------------------------|-------------------------------------|
| XIX. UTILITIES AND SERVICE SYSTEMS - Would the project: | | | | | |
| a) | Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) | Have sufficient water supplies available to serve the Project and reasonably foreseeable future development during normal, dry and multiple dry years? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) | Result in a determination by the wastewater treatment provider which serves or may serve the Project that it has adequate capacity to serve the Project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) | Generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) | Comply with federal, state, and local management and reduction statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: County of San Bernardino General Plan 2007; Submitted Project Materials

- a) **Less Than Significant Impact.** The proposed project does not exceed wastewater treatment requirements of the Regional Water Quality Control Board, Lahontan Region, as determined by County Public Health – Environmental Health Services. A 50-foot wide high pressure gas line easement to Southern California Gas Company exists in the center of the site in a north/south alignment. All development, grading and land alteration within the easement area will be avoided and an additional 25-foot building setback on each side of the easement will be established and maintained.
- b) **Less Than Significant Impact.** The project will be served by County Service Area 70 (CSA 70), Zone J. The proposed project will not require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities. The proposed project will have sufficient water supplies available to serve the project from existing entitlements and resources.
- No Impact.** The project will be serviced by septic systems, as approved by the water quality district.
- d) **Less Than Significant Impact.** The project will be served by County Service Area 70 (CSA 70), Zone J. The proposed project will have sufficient water supplies available to serve the project from existing entitlements and resources.
- e) **Less than Significant Impact.** This project falls within a County Franchise Area. If subscribing for the collection and removal of construction and demolition waste from the project site, all developers, contractors, and subcontractors shall be required to receive services through the grantee holding a franchise agreement in the corresponding County Franchise Area (Burrtec-Empire Disposal). The developer shall provide adequate space and storage bins for both refuse and recycling materials. This requirement is to assist the County in compliance with the recycling requirements of Assembly Bill (AB) 2176. A Construction Waste Management Plan will be prepared in two parts to show adequate handling of waste materials; disposal, reuse, or recycling as required by the County Department of Public Works Solid Waste Management Department.

Therefore, no significant adverse impacts are identified or anticipated and no mitigation measures are required.

| <i>Issues</i> | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|---|---|-------------------------------------|-------------------------------------|
| XX. WILDFIRE: If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project: | | | | |
| a) Substantially impair an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire? | | | | |
| c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

SUBSTANTIATION: County of San Bernardino General Plan 2007; Oak Hills Community Plan; Submitted Project Materials

- a) **No Impact.** The proposed Project would not substantially impair an adopted emergency response plan or emergency evacuation plan, there will be no impact.
- b) **Less Than Significant Impact.** The proposed project is within a Fire Safety Review Area 1 (FS-1). All construction shall adhere to all applicable standards and requirements of this overlay district, including fuel modification. Implementation of the proposed Project will not cause a significant impact due to slope, prevailing winds, and other factors, exacerbate wildfire risks, thereby exposing project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire.
- c) **Less Than Significant Impact.** Pursuant to the requirements of the FS-1 Overlay District, the proposed Project will require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities). The project is not expected to exacerbate fire risk or that may result in temporary or ongoing impacts to the environment.
- d) **Less Than Significant Impact.** The proposed Project will not expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes.

| <i>Issues</i> | <i>Potentially Significant Impact</i> | <i>Less than Significant with Mitigation Incorporated</i> | <i>Less than Significant</i> | <i>No Impact</i> |
|---|---------------------------------------|---|------------------------------|------------------|
| XXI. MANDATORY FINDINGS OF SIGNIFICANCE: | | | | |

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

- b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? ☐ ☐ ☒ ☐
- c) Does the project have environmental effects, which would cause substantial adverse effects on human beings, either directly or indirectly? ☐ ☐ ☒ ☐

-
- a) **Less than Significant Impact.** The project site does not have trees or shrubs that could provide nesting habitat for birds; nor does it contain suitable habitat for burrowing owl. The project will not conflict with local policies or ordinances related to biological resources. The project is not within an adopted Habitat Conservation Plan area. The project will not have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service.
- b) **Less than Significant Impact.** The project does not have impacts that are individually limited, but cumulatively considerable. The proximity of the National Forest limits the amount of development that can take place in the area, thus reducing the cumulative effect of the proposed project. The project will construct and install the services, infrastructure and utilities necessary to serve the project.
- c) **Less than Significant Impact.** The project will not have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly, as there are no such impacts identified by the studies conducted for this project or identified by review of other sources or by other agencies.

All potential impacts have been thoroughly evaluated and have been deemed to be neither individually significant nor cumulatively considerable in terms of any adverse effects upon the region, the local community or its inhabitants. At a minimum, the project will be required to meet the conditions of approval for the project to be implemented. It is anticipated that all such conditions of approval will further insure that no potential for adverse impacts will be introduced by construction activities, initial or future land uses authorized by the project approval.

MITIGATION/MONITORING MEASURES:

CUL 1: In the event that archaeological materials are encountered during construction, all construction work should be halted and a qualified archaeologist consulted to determine the appropriate treatment of the discovery (California Code of Regulations, Title 14, Chapter 3, Section 15064.5(f)). Work on the other portions of the project outside of the buffered area may continue during this assessment period. Additionally, the San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed within **TCR-1 and TCR-2**, regarding any pre-contact/contact-era/historic finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.

If significant cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to SMBMI for review and comment, as detailed within TCR-1. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.

Monitoring: Monitoring of earthmoving activities by a qualified archaeologist and/or tribal monitor (including initial grubbing and vegetation removal) is recommended to mitigate potential impacts to undocumented archaeological resources.

CUL 2: In the event human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be Native American, the County Coroner will notify the NAHC, which will determine and notify an MLD. With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD will have the opportunity to offer recommendations for the disposition of the remains.

Monitoring: Monitoring of earthmoving activities by a qualified archaeologist and/or tribal monitor (including initial grubbing and vegetation removal) is recommended to mitigate potential impacts to undiscovered human remains.

TCR-1: The San Manuel Band of Mission Indians Cultural Resources Department (SMBMI) shall be contacted, as detailed in CR-1, of any pre-contact/contact-era/historic cultural resources discovered during project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with SMBMI, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents SMBMI for the remainder of the project, should SMBMI elect to place a monitor on-site.

TCR-2: Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to SMBMI. The Lead Agency and/or applicant shall, in good faith, consult with SMBMI throughout the life of the project.

GENERAL REFERENCES

California Department of Conservation, California Geological Survey, Mineral Resources and Mineral Hazards

County of San Bernardino 2007 Development Code

County of San Bernardino Geologic Hazards Overlays Map

County of San Bernardino Hazard Overlay Map

County of San Bernardino Identified Hazardous Materials Waste Sites List, April 1998.

County of San Bernardino, Countywide Integrated Waste Management Plan, March 1995.

San Bernardino County General Plan, 2007.

San Bernardino County General Plan, 2007; Environmental Impact Report

County of San Bernardino, Greenhouse Gas Emissions Reduction Plan, January 6, 2012.

County of San Bernardino, *San Bernardino County Storm Water Program, Model Water Quality Management Plan Guidance*.

County of San Bernardino Road Planning and Design Standards.

Federal Emergency Management Agency Flood Insurance Rate Map and Flood Boundary Map.

Mojave Desert Air Quality Management District, CEQA Air Quality Handbook, November 1993.

U.S. Department of Agriculture, Natural Resources Conservation Service. Web Soil Survey. Available at <http://websoilsurvey.nrcs.usda.gov/>

PROJECT-SPECIFIC REFERENCES

Biological Resource Assessment, RCA Associates, LLC

Cultural Resources Assessment, CRM TECH

Preliminary Hydrology and Hydraulic Calculations, Ludwig Engineering Associates, Inc.

Preliminary Water Quality Management Plan, Ludwig Engineering Associates, Inc.

South Central Coast Information Center, California State University, Fullerton

EXHIBIT E

Correspondence

From: [Cristina Beltran](#)
To: [Nieves, Tom](#)
Subject: : Whitehaven Estates Oak Hills
Date: Friday, August 7, 2020 1:06:48 PM

Reference: Whitehaven Estates Oak Hills, Ca. **Parcel #0357-062-01-0000**

Opposed to this development project

Dear Mr. Nieves, the San Bernardino County Planning Commission, Supervisor Lovingood and the entire Board of Supervisors:

I have been an Oak Hills resident for a short time. However, I want to thank you for being able to express my concern and opposition to this Whitehaven Estates project and the rezoning for this project.

I understand that this project has been denied in 2009 and as a long time resident I am requesting that this project be denied again. A major reason for purchasing my home in Oak Hills was the location and the open space that this area provided. This project will diminish this area in many ways.

In addition to the proximity to open space, I am opposed to the rezoning of the land from OH/RC and OH/FW to OH/RL for the following reasons:

1) Increasing the density of houses from one house per 40 acres to one house per less than 2 acres. The residents of Oak Hills have fought long and hard, and will continue to fight, to protect the MINIMUM 2.5 ACRE lot size for all buildable lots in Oak Hills as noted in the Oak Hills Community Plan.

<!--[if !supportLists]-->2) <!--[endif]-->The one route of egress on a paved road (Jenny) will be a safety hazard for all residents of Summit Estates during any fire event requiring evacuation. Traffic flow will increase, which will create major safety issues for this entire area. The 2 lane road will become congested, especially since this road has been known to be blocked by snow, accidents or fires. This leaves no safe route to enter or exit the area and more traffic will compound the problem

.

<!--[if !supportLists]-->3) <!--[endif]-->Lack of water and water pressure. The area

currently has a lack of water and poor water pressure. The addition of 54 homes will exacerbate the water situation. When this development was proposed in 2009, it was exposed that the current water well and storage tanks were insufficient to supply water to the proposed development. As of 2020 no improvements have been made to the well or the water storage. This will made the water pressure for current resident to be below acceptable standards. This area is also considered an extreme fire danger area. The recent fires we experienced in the last few years have emphasized the inadequate water system for this area.

4) We moved to this area because it is a beautiful area, this type of development will take that away. Track homes do not enhance an area like Oak Hills. These types of development bring the value of the whole area down.

As a taxpaying resident of the Oak Hills area I strongly oppose this type of development. The desert is a large area; this type of development can be done somewhere else. The High Desert has many new developments all over that have shown that this type of development creates all the issues listed above. I am confident in saying that if this type of development was proposed in your neighborhood you would feel the same way we do and request a denial.

We also understand that many residents of the area have NOT been notified of the new development and the impact it will have on the area. This is a way that the development gets done without the concerns of the taxpayers who live in this area. The Planning Commission should at least show good faith by notifying all residents of the hearing to have their concerns addressed as well as their request to stop this type of development in this area. . Allowing this developer to ignore the will of the taxpaying people and manipulate the community plan will set precedence for others to follow.

The residents of Oak Hills have made it very clear through their words, actions and community involvement that they wish to KEEP OAK HILLS RURAL. We request from you our representative to NOT approve this request.

Thank you,

Cristina Beltran

From: cutie14947@aol.com
To: [Nieves, Tom](#)
Subject: Comment on Project No. P201700742
Date: Sunday, August 9, 2020 3:50:42 PM

Dear Mr. Nieves, the San Bernardino County Planning Commission, Supervisor Lovingood and the entire Board of Supervisors:

Thank you for this opportunity to express my opposition to the proposed homes at Whitehaven and Braceo, 92344, named Whitehaven Estates.

As a 20+ year resident of Oak Hills, I am opposed to the changing of the Oak Hills Community Plan Resource Conservation (OH/RC) and Oak Hills Floodway (OH/FW) to Oak Hills Rural Living (OH/RL) and the subdivision of approximately 155 acres into fifty-four residential lots, one open space lot and two lettered detention basin lots.

When purchasing my home, I paid a premium price due to the location and proximity to open space. The OH/RC and OH/FW space to the south transitioning to Bureau of Land Management land, transitioning to National Forest was one of the reasons why we chose to move to this area.

In addition to the proximity to open space, I am opposed to the rezoning of the land from OH/RC and OH/FW to OH/RL for the following reasons:

- 1) Increasing the density of houses from one house per 40 acres to one house per less than 2 acres.
- 2) The one route of egress on a paved road (Jenny) will be a safety hazard for all residents of Summit Estates during any fire event requiring evacuation. In addition we have limited maintenance to our roads and how are they going to be maintained with additional drivers on them?
- 3) Lack of water and water pressure. The area currently has a lack water and poor water pressure. The addition of 54 homes will exacerbate the water situation. We go through yearly droughts now and there is no way we can spare anymore water that is available.
- 4) Has there been any consideration of the destruction of the habitat for the kangaroo rat which is a endangered species that can be pushed to the extinction list, with this possible development.
- 5) Additional housing will put a strain on an already limited fire and police department resources that is currently available to our region.

This region will be significantly impacted by your decision. Should this request be approved, there will be a significant increase in traffic through this quiet neighborhood, thus increasing pollution, and causing safety issues for those walkers, hikers, runners, and joggers enjoying our open spaces.

Your decision regarding the approval or denial of the request to rezone this area to OH/RL will determine whether the residents of this area choose to remain living in this area or will choose to move to another region or county.

While there were some residents notified of this proposed zoning change, the entire community of Summit Estates should be notified as this will impact all residents. I request that the Planning Commission hearing be postponed to all for notification of all the residents of Summit Estates and neighboring areas.

I implore you to NOT approve the request to rezone this area.

Kristen Hall
9918 Mirandy Way
Oak Hills, CA 92344

From: [saul.opie](#)
To: [Nieves, Tom](#)
Subject: Comments for Whitehaven Project APN 0357-062-01-0000
Date: Friday, August 7, 2020 8:32:45 AM
Attachments: [Opie, Whitehaven Letter 8-1-2020.pdf](#)

Dear Mr. Nieves,

Below are my comments for the proposed "Whitehaven Estates" (APN 0357-062-01-0000) rezone from RC to RL. I have attached a pdf copy also. Thank you for your time.

I would like to express my concern and opposition to the "Whitehaven Estates, SCH No.: 2020060430" rezoning amendment from Resource Conservation (RC) to Rural Living (RL). I have three issues with this proposed project and the MND submitted, (1) the project area is a unique habitat for the high desert and a housing tract of this size would have a significant impact, (2) the MND is very misleading in regards to the ecological and wildfire topics, and (3) I do not agree that rezoning the area from RC to RL benefits a majority of San Bernardino County residents and therefore do not believe it should be rezoned. The developer knew the zoning status at the time of purchase so there is no obligation to rezone.

This is a unique habitat for the high desert area. Few places in the high desert have the plant and wildlife diversity that is found here, such as large scrub oak, manzanita, mountain mahogany, and other plant species unique to mountain desert transition regions (none of this was mentioned in the MND). This area is one of only a few areas near Interstate 15 that provides habitat or transitional habitat for numerous wildlife such as bobcats, owls, quail, deer, black bear, mountain lions, and bighorn sheep among others, all of which have been spotted here in the last two years (a review of social or print media would confirm this).

The current RC zoning is appropriate because while allowing some development it discourages (via very low density housing) any rational disturbance of the land, i.e., it wouldn't be logical for a developer to build a few homes as allowed with RC zoning and then remove or otherwise damage the remaining natural open space. The scarcity and value of the land to the citizens of San Bernardino is better served as currently zoned. The additional housing units this rezoning proposal would produce does not offset the natural habitat and general disturbance it would create, particularly when you consider the vast amount of residentially zoned land available in the high desert. This land was purchased by the developer zoned RC, I believe the burden is on the developer to show why it should be zoned RL.

Additionally, I would like to point out some omissions and factual inconsistencies in the MND submitted for this proposed project that should also be considered (some of these were mentioned in Ref. [1], which had a much less environmental impact, and arguably improved the area):

- 1) WILDFIRE, Currently the MND states "Less than Significant.": This project would have a significant impact on wildfire. All areas near this tract, and including this tract, are rated as a "High" Fire Hazard Severity Zone, see Ref. [2]. In fact, neighboring this tract to the south is a "Very High" fire zone. The proposed tract has large steep slopes and extremely high winds, that are very well known to anyone familiar with the area. All the homes in the proposed tract would be at a high risk of wildfire, particularly the southern most homes whose southern property lines would border the "Very High" risk fire region. Fighting wildfire in this area would be difficult and the increased amount of human activity from additional residents would increase the likelihood of a man-made fire event. As a final anecdote, all new residents of existing homes in this area cannot get standard residential fire insurance policies and must participate in the California FAIR plan, further substantiation that the fire risk to potential residents and current residents would be significant if this project was approved.
- 2) AESTHETICS, Currently the MND states "Less than Significant.": This project would have a significant impact on the scenic resources. Currently it is a largely untouched ~160 acre tract with abundant native plants and wildlife not common to a desert habitat. Currently large scrub oak and manzanita are present at this site in addition to other species, and single leaf pinyon pine trees are in the area (and may transition to this site if not already there). A 50+ housing tract will lead to a significant amount of grading and vegetation destruction to this area typical with residential development.
- 3) BIOLOGICAL RESOURCES, Currently the MND states "No Impact.": This project would have a significant impact on biological resources. The authors of this section of the MND are misleading readers with obvious errors. Quoting from the MND, "The project site does not have trees or shrubs that could provide nesting habitat for birds;" This is entirely false. The area has numerous large shrubs and what most would consider trees. The same shrubs in my personal property have been nesting sites for Red Tail Hawks and Barn Owls, and burrow entrances for large mammals. This project would disturb and likely displace most wildlife present in the tract and surrounding areas.

Thank you for your objective consideration of these concerns.

Sincerely,
Saul Opie, Ph.D.
High Desert Resident
760-490-4025

References:

- [1] "San Bernardino National Forest Baldy Mesa Off-Highway Vehicle Trails and Staging Area Mitigated Negative Declaration," March 2015.
- [2] California Fire Hazard Severity Zone Viewer, <https://gis.data.ca.gov/datasets/789d5286736248f69c4515c04f58f414>, Retrieved August 2, 2020.